

Incorporated 1910

Minor Subdivision Application

Submit the completed application to the Cranston Planning Department *together* with all required and supporting documents and materials. Illegible or incomplete applications will not be reviewed.

Project Phase: Pre-application Preliminary Final

Project Info

Project Info

Project Name: Cullion Homes
Assessor's Plat(s): 18-3 Assessor's Lot(s): 2006
Address of Project: 0 Briarwood Avenue

Contact Information

Applicant

Name: Mark Cullion
Address: 875 Phenix Avenue, Cranston, RI 02920
Phone: (401) 783-4650 Email: _____

Property Owner (If there are more owners please submit an addendum with this application form)

Name: Preservation Development, LLC
Address: 29 South View Terrace, Cranston, RI 02920
Phone: _____ Email: _____

Attorney (If applicable)

Name: John O. Mancini, Esq.
Address: 56 Pine Street, 3rd Floor, Providence, RI 02903
Phone: (401) 343-7000 Email: jmancini@mancinicar.com

Cranston Planning Department
869 Park Avenue Cranston, RI 02908
(401) 780-3136

Engineer

Name: Principe Company, Inc., Engineering Division

Address: 27 Sakonnet Ridge Drive, Tiverton, RI 02878

Phone: (401) 816-5385 Email: _____

Land Surveyor

Name: _____

Address: _____

Phone: _____ Email: _____

Owner/Applicant Signature

I (we) hereby certify that I (we) own the subject property and seek Minor Subdivision and/or Land Development Plan approval(s) as drafted in the accompanying plans for review by the City Plan Commission.

Mark Cullion

Applicant Name & Title (please print)

Date: _____

Mark Cullion
Applicant Signature

Preservation Development, LLC c/o Mark Cullion

Signature of Owner (if different than above)

Date: _____

Signature of Owner(s)

Date: _____

Certification

PRELIMINARY PLAN FOR CULLION HOMES A.P. 18-3 LOT 2006 MINOR SUBDIVISION NEW LONDON AVENUE IN CRANSTON, RHODE ISLAND

OWNERS:

LOT 2006:
PRESERVATION DEVELOPMENT, LLC
29 SOUTH VIEW TERRACE
CRANSTON, RI 02920-1417

APPLICANT:

MARK CULLION
875 PHENIX AVENUE
CRANSTON, RI 02920
401.783.4650

LIST OF DRAWINGS

- 1) TITLE SHEET
- 2) EXISTING CONDITIONS
- 3) SUBDIVISION LAYOUT
- 4) UTILITY AND GRADING
- 5) EROSION CONTROL
- 6) ROAD PLAN AND PROFILE
- 7-8) DETAILS

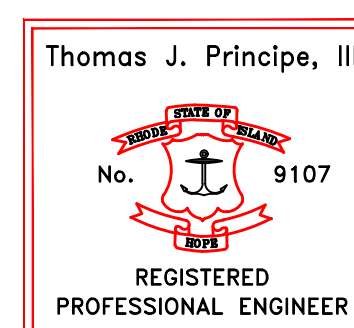


PREPARED BY:

PRINCIPE COMPANY, INC.
ENGINEERING DIVISION

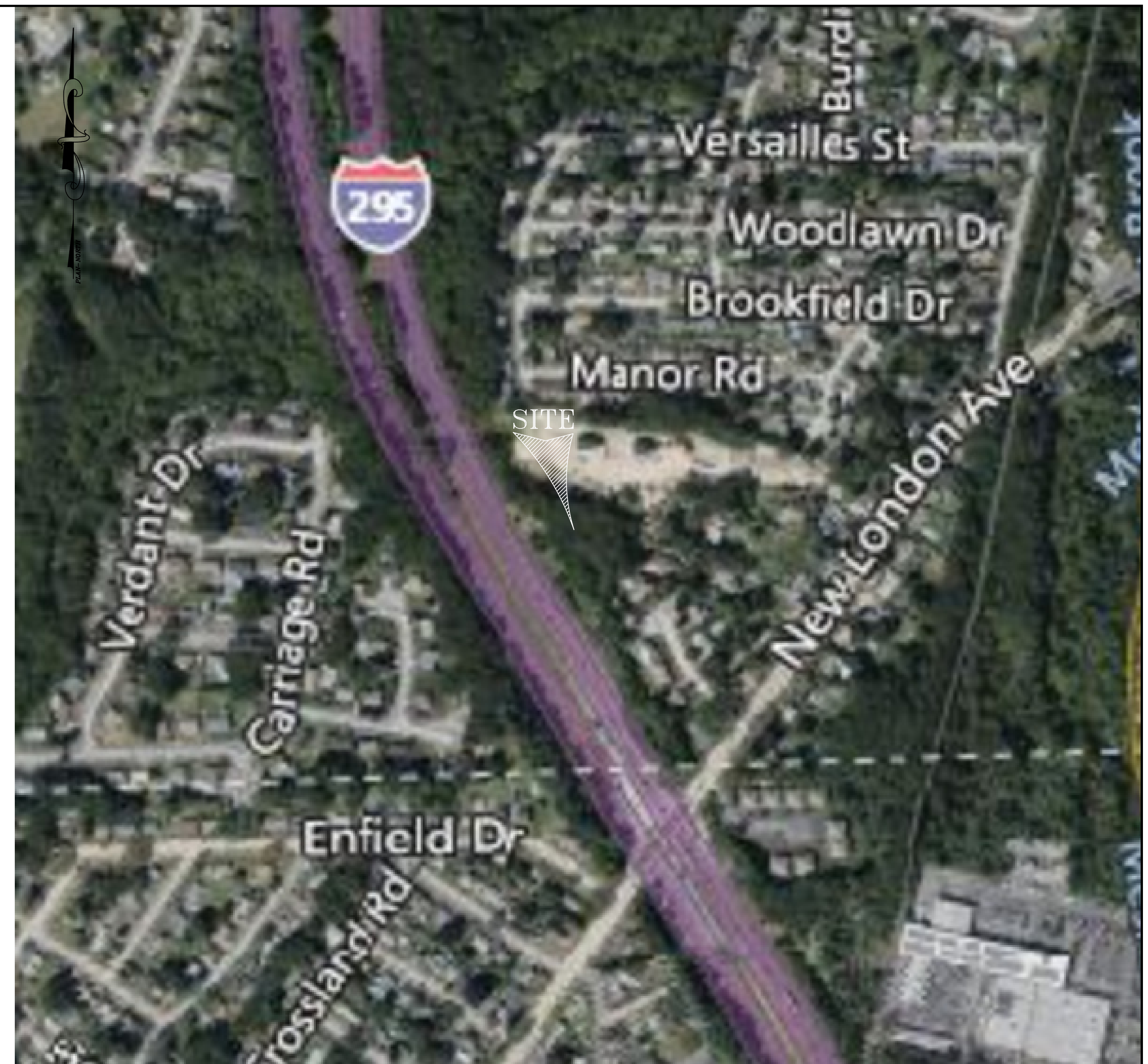
27 SAKONNET RIDGE DR
TIVERTON, RHODE ISLAND 02878
401.816.5385

JULY 22, 2025



DRAWING ISSUE:

- CONCEPT
 - CUSTOMER APPROVAL
 - PERMITTING
 - CONSTRUCTION
 - AS-BUILT
 - OTHER:
- ONLY PLANS ISSUED FOR
CONSTRUCTION SHALL BE USED
FOR CONSTRUCTION



AERIAL LOCUS MAP
SCALE 1"=200'

PROJECT DATA:

PLAN REFERENCE:

1. FINAL PLAN SUBMISSION FOR A PROPOSED 14-LOT MAJOR SUBDIVISION - BRIARWOOD ESTATES CRANSTON, RHODE ISLAND AP 18-3, LOTS 1023 & 1026 DATE: MARCH 2022, LAST REVISED: 9/27/23 PREPARED BY: JOE CASALI ENGINEERING, INC. 300 POST ROAD WARWICK, R 02888I PHONE: 401.944.1300
2. ADMINISTRATIVE SUBDIVISION PLAN PREPARED BY E. GREENWICH SURVEYORS, LLC DATE: FEB. 2022
3. CLASS I BOUNDARY SURVEY PLAN PREPARED BY PRINCIPE COMPANY, INC. SURVEYING DIVISION TITLED BOUNDARY SURVEY PLAN FOR PRESERVATION DEVELOPMENT LLC ASSESSORS PLAT 18-3 LOT 2006 0 SOUTHVIEW TERRACE IN CRANSTON, RHODE ISLAND DATE: JANUARY 20, 2025
4. CLASS I BOUNDARY SURVEY - FINAL RECORD PLAN - BRIARWOOD ESTATES PREPARED FOR UNIVERSAL REALTY, LLC - LOCATION NEW LONDON AVENUE A.P. 18-3/LOT 1026 CRANSTON, R.I. DATE: 9-27-23 REVISED: 10-12-23 PREPARED BY E. GREENWICH SURVEYORS, L.L.C.
5. NO RELEVANT ZONING RELIEF HAS BEEN GRANTED FOR THIS SITE
6. THERE ARE NO KNOWN CONTAMINATED SOILS PRESENT ON THE SITE.
7. THE SITE CONSISTS OF A WOODED AREA ABUTTING THE ROUTE 295 NORTHBOUND SIDE SLOPE.
8. THE SITE CONTAINS NO UNIQUE NATURAL FEATURES OR SPECIMAN TREES.
9. THE SITE IS NOT LOCATED WITHIN ANY NATURAL HERITAGE AREAS AS DEFINED BY RIDEM, COASTAL BUFFER AREAS, GROUNDWATER OVERLAY PROTECTION AREAS, WELLHEAD PROTECTION AREAS, GROUNDWATER RECHARGE AREAS, AREAS WITHIN A TMDL WATERSHED, OWTS CRITICAL RESOURCES AREAS, DRINKING WATER SUPPLY WATERSHEDS AS DEFINED BY RIDEM, NATIONAL REGISTER OF HISTORICAL PLACES OR THE CRANSTON HISTORIC DISTRICT.

EXISTING:

PLAT: 18-3 LOT: 2006
LOT AREA: 0.66 AC

PROPOSED:

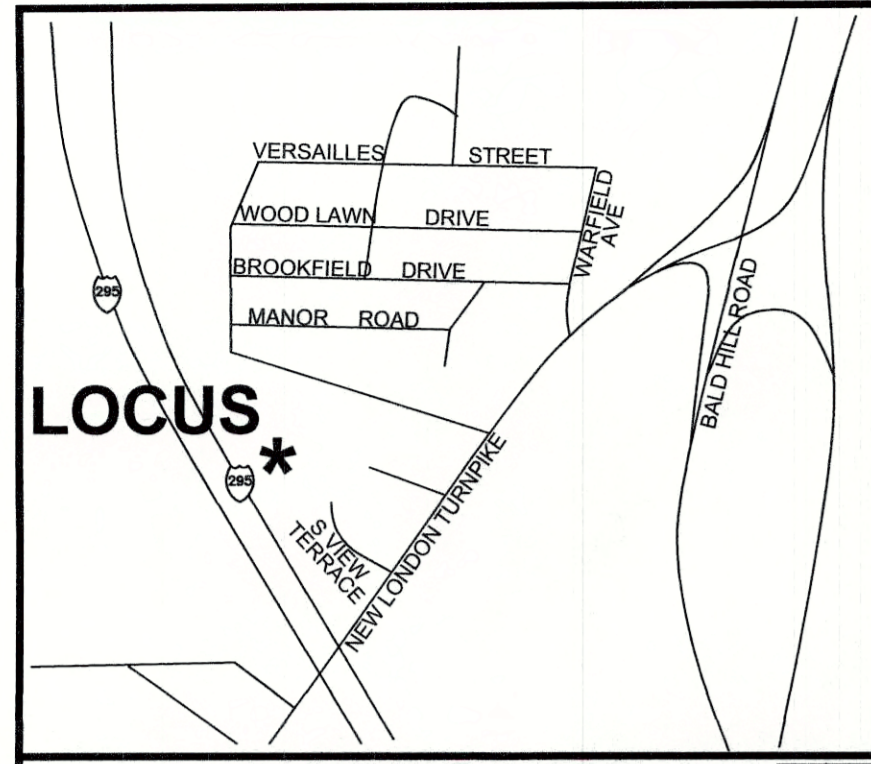
MINOR SUBDIVISION MASTER
PLAN APPLICATION TO
CREATE TWO (2) RESIDENTIAL
LOTS COMPLIANT TO TOWN OF
CRANSTON R-8 ZONE

STREET INDEX

BRIARWOOD ROAD (TOWN, PUBLIC)
NEW LONDON AVENUE (STATE, PUBLIC)

ZONING DISTRICT: - A8

MIN. LOT AREA	8,000 SF
MIN. LOT WIDTH/FRONTAGE	80 FT
MIN. FRONT YARD	25 FT
MIN. SIDE YARD	10 FT
MIN. REAR YARD	20 FT
MAX. BLD. COVERAGE	30%
MAX. BUILDING HEIGHT	35 FT



LOCUS MAP
NOT TO SCALE

ZONING CRITERIA

ZONING DISTRICT	A8
MINIMUM LOT AREA	8,000 SQ. FT.
MINIMUM LOT FRONTAGE	80'
MINIMUM FRONT YARD SETBACK	25'
MINIMUM SIDE YARD SETBACK	10'
MINIMUM REAR YARD SETBACK	20'
MAXIMUM BUILDING COVERAGE	30%
MAXIMUM BUILDING HEIGHT	35'

BUILDING SETBACKS SHOWN MUST BE REVIEWED THE THE TOWN OFFICIAL FOR ACCURACY AND COMPLIANCE.

GENERAL NOTES:

1. THE LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE LATEST AVAILABLE INFORMATION. THE UTILITY LOCATIONS ARE APPROXIMATE AND MAY NOT BE ALL INCLUSIVE. THE CONTRACTOR SHALL CHECK AND VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, BOTH OVERHEAD AND UNDERGROUND, AND "DIG-SAFE" MUST BE NOTIFIED PRIOR TO COMMENCING ANY CONSTRUCTION OPERATIONS. RESTORATION AND REPAIR OF DAMAGE TO EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WITH NO ADDITIONAL COST TO THE OWNER. NO EXCAVATION SHALL COMMENCE UNTIL ALL INVOLVED UTILITY COMPANIES AND/OR TOWN WHOSE FACILITIES MIGHT BE AFFECTED BY ANY WORK TO BE PERFORMED BY THE CONTRACTOR ARE NOTIFIED AT LEAST 72 HOURS IN ADVANCE.

2. THIS SITE LIES WITHIN A ZONE X AREA FLOOD PLAIN AS SHOWN ON THE FIRM MAP FOR THE TOWN OF CRANSTON, RHODE ISLAND COMMUNITY PANEL NUMBER 44007C0426H, MAP DATED OCTOBER 02 2015.

3. THERE ARE NO KNOWN EASEMENTS OR RIGHTS OF WAY WITHIN OR ADJACENT TO THIS PARCEL UNLESS OTHERWISE SHOWN.

4. THERE ARE NO KNOWN HISTORIC CEMETERIES WITHIN OR IMMEDIATELY ADJACENT TO THIS PARCEL UNLESS OTHERWISE SHOWN.

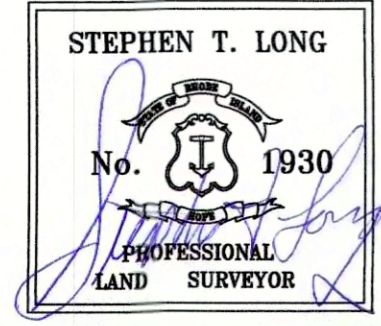
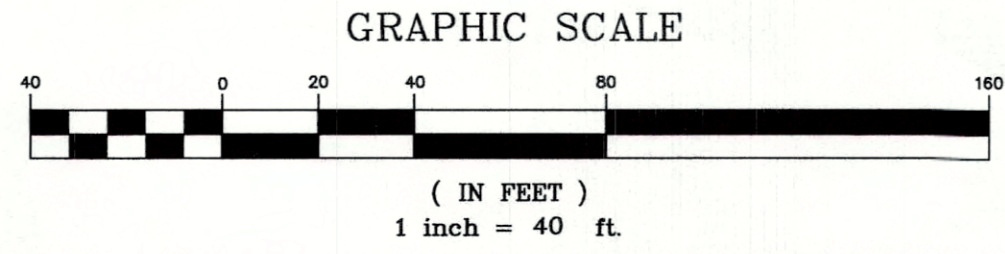
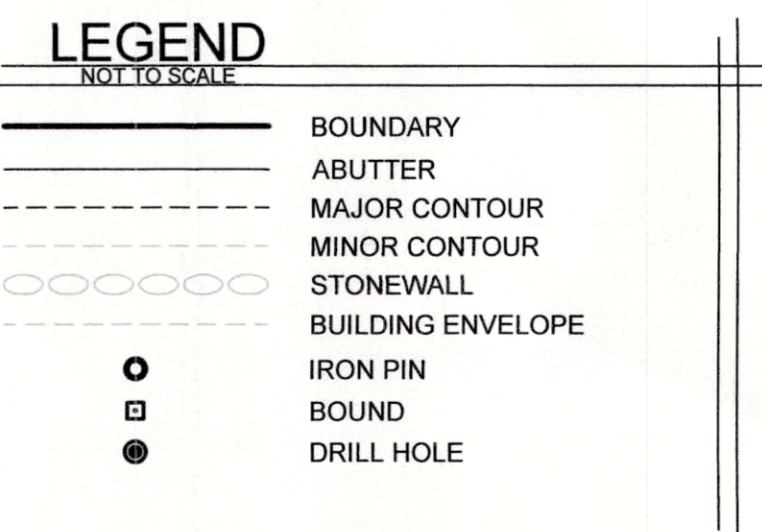
5. THE HORIZONTAL DATUM SHOWN HEREIN IS BASED ON RHODE ISLAND STATE PLANE COORDINATES NAD 83 DATUM AND VERTICAL DATUM IS BASED ON LIDAR DATUM.

REFERENCES:

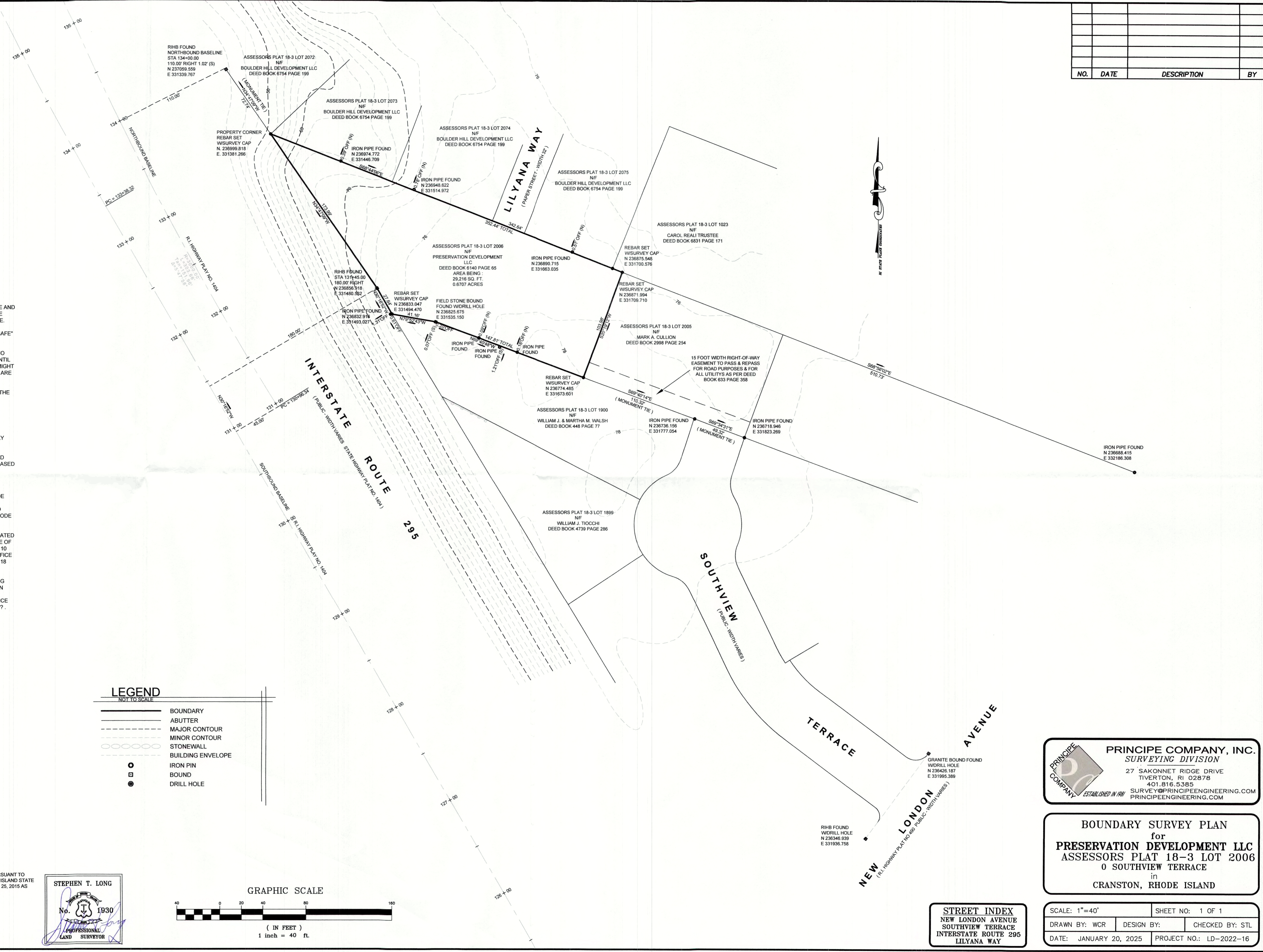
1. A CERTAIN PLAN ENTITLED: "BROOKFIELD MANOR CRANSTON RHODE ISLAND LAND BELONGING TO LIBERATI CICCIOLELLO & THERESA CICCIOLELLO SCALE 1"=50' DATED NOVEMBER 1963" BY H. CHAFFY AND RECORDED IN THE OFFICE OF THE CITY CLERKS OFFICE CRANSTON RHODE ISLAND IN PLAT BOOK 14 PAGE 50 AND PLAT CARD 404.

2. A CERTAIN PLAN ENTITLED: "SOUTHVIEW TERRACE FINAL PLAT LOCATED IN THE CITY OF CRANSTON RHODE ISLAND PROVIDENCE COUNTY STATE OF RHODE ISLAND SCALE 1"=40' DATED APRIL 4 1979 REVISED SEPTEMBER 10 1979" BY VILLAGE GREEN ASSOCIATES INC. AND RECORDED IN THE OFFICE OF THE CITY CLERKS OFFICE CRANSTON RHODE ISLAND IN PLAT BOOK 18 PAGE 55 AND PLAT CARD 528.

3. A CERTAIN PLAN ENTITLED: "SURVEY PLAN FOR EDWARD PELLI BEING ASSESSORS PLAT 18-3 LOT 1026 1365 NEW LONDON AVENUE CRANSTON RHODE ISLAND SCALE 1"=30" DATED DECEMBER 18 2015" BY BOYER ASSOCIATES AND RECORDED IN THE OFFICE OF THE CITY CLERKS OFFICE CRANSTON RHODE ISLAND IN PLAT BOOK ?? PAGE ?? AND PLAT CARD ??.



THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATIONS FOR PROFESSIONAL LAND SURVEYORS NOVEMBER 25, 2015 AS FOLLOWS:
 TYPE OF SURVEY: LIMITED CONTENT BOUNDARY SURVEY
 MEASUREMENT SPECIFICATION: CLASS 1 STANDARD / CLASS IV TOPO(LIDAR)
 PURPOSE OF SURVEY: BOUNDARY SURVEY PLAN
 BY: Stephen T. Long DATE: 2-4-25
 STEPHEN T. LONG, PLS NO. 1930



NO.	DATE	DESCRIPTION	BY

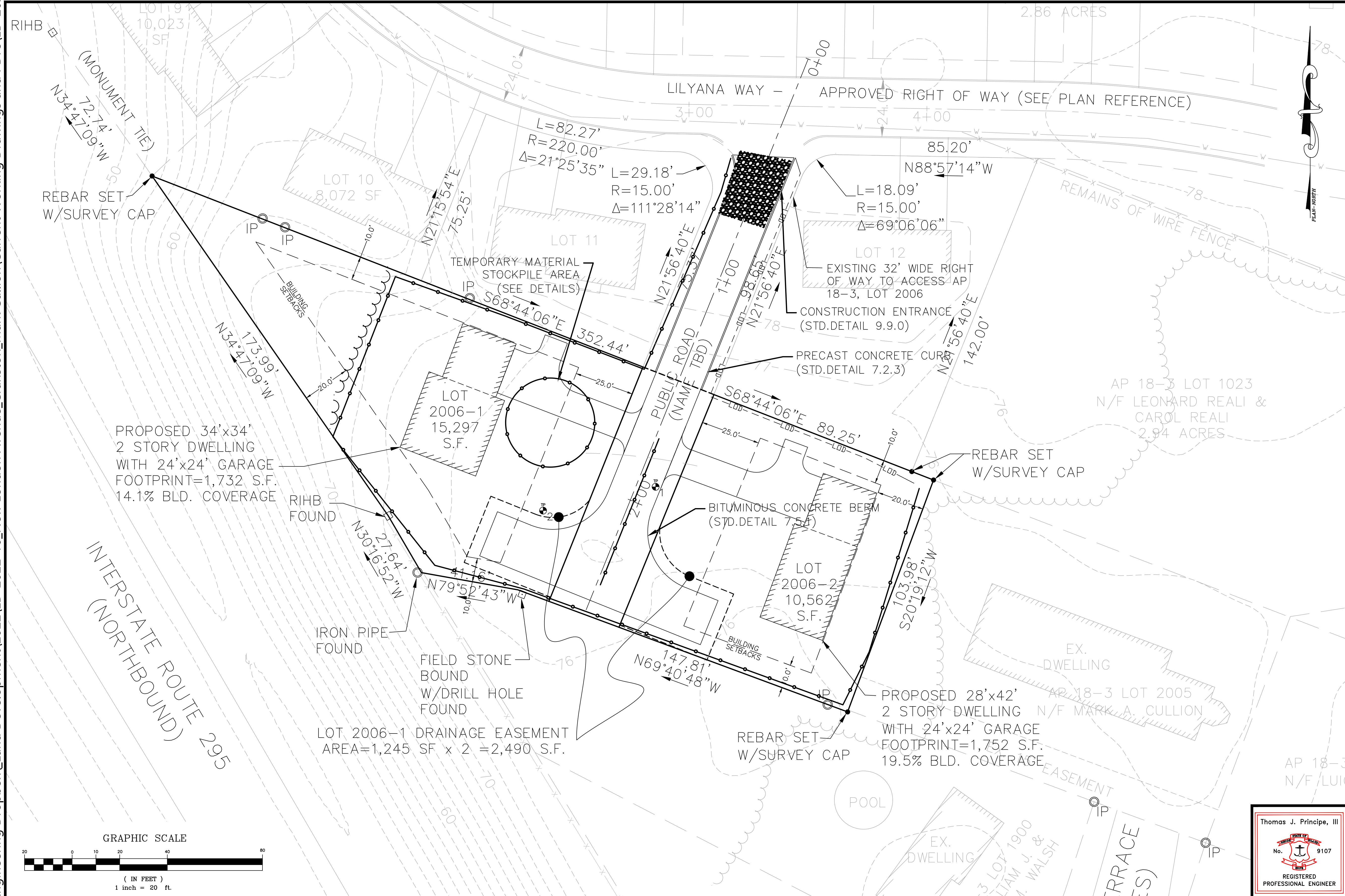
PRINCIPE COMPANY, INC.
 SURVEYING DIVISION
 27 SAKONNET RIDGE DRIVE
 TIVERTON, RI 02878
 401.816.5385
 SURVEY@PRINCIPEENGINEERING.COM
 PRINCIPLEENGINEERING.COM

BOUNDARY SURVEY PLAN
 for
PRESERVATION DEVELOPMENT LLC
 ASSESSORS PLAT 18-3 LOT 2006
 0 SOUTHVIEW TERRACE
 in
 CRANSTON, RHODE ISLAND

SCALE: 1"=40'	SHEET NO: 1 OF 1
DRAWN BY: WCR	DESIGN BY: CHECKED BY: STL
DATE: JANUARY 20, 2025	PROJECT NO.: LD-2022-16

STREET INDEX
 NEW LONDON AVENUE
 SOUTHVIEW TERRACE
 INTERSTATE ROUTE 295
 LILYANA WAY

C:\Users\Seth Lemoine\Principle Engineering Dropbox\Land Development\2022\LD-2022-16_New London Avenue Cranston_Mark Cullion\Current Working Drawings and PDFs\LD-2022-16



LEGEND

EXISTING PROPERTY LINE	---
ABUTTER LINE	---
EX. EDGE OF PAVEMENT	---
EXISTING CONTOUR	-87-
EXISTING SPOT GRADE	x 87
EX. TEST PIT	⊙
EXISTING STONE WALL	⊗
EXISTING FENCE LINE	⊗
EXISTING BUILDING	⊗
EXISTING UTILITY POLE	⊗
EXISTING HYDRANT	⊗
PROPOSED LOT LINE	---
BUILDING SETBACK	⊕
PROPOSED DOWNSPOUTS	⊕
PROPOSED CONTOUR	-87-
PROPOSED SPOT GRADE	x 116.5
PROPOSED SEWER LINE	---
PROPOSED WATER LINE	---
PROPOSED DRAIN LINE	---
DRILL HOLE	D.H.
GRANITE (CONCRETE) BOUND	G.B. / C.B.
IRON ROD	I.R.
PROPOSED EROSION CONTROLS	---
LIMITS OF CLEARING/DISTURB.	---

STREET INDEX

BRIARWOOD ROAD (TOWN, PUBLIC)
NEW LONDON AVENUE (STATE, PUBLIC)

ZONING: A-8

MIN. LOT AREA	8,000 SF
MIN. LOT WIDTH/FRONTAGE	80 FT
MIN. FRONT YARD	25 FT
MIN. SIDE YARD	10 FT
MIN. REAR YARD	20 FT
MAX. BLD. COVERAGE	30%
MAX. BUILDING HEIGHT	35 FT

SUMMARY:

THE PURPOSE OF THIS SUBDIVISION IS TO CREATE TWO CONFORMING RESIDENTIAL LOTS FROM AP 18-3, LOT 2006.

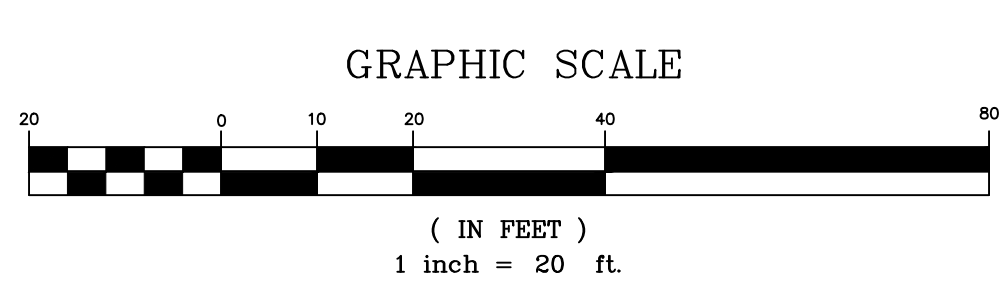
THE 32 FT WIDE PUBLIC RIGHT-OF-WAY CREATED BY THE BRIARWOODS ESTATES SUBDIVISION PROJECT TO BE EXTENDED THROUGH AP 18-3, LOT 2006 TO ACCOMMODATE A 20 FT WIDE PUBLIC ROAD.

THE PROPOSED EASEMENT NEAR THE END OF THE ROW IS REQUIRED FOR MUNICIPAL EMERGENCY VEHICLE HAMMERHEAD TURNAROUND AND THE MAINTENANCE OF STORMWATER INFILTRATION INFRASTRUCTURE. EASEMENT METES AND BOUNDS TO BE RECORDED IN LAND EVIDENCE RECORDS FOR EACH PROPOSED LOT UPON FINAL APPROVAL.

OWNERS:
LOT 2006:
PRESERVATION DEVELOPMENT, LLC
29 SOUTH VIEW TERRACE
CRANSTON, RI 02920-1417

APPLICANT:
MARK CULLION
875 PHENIX AVENUE
CRANSTON, RI 02920
401.783.4650

SUBDIVISION LAYOUT & EROSION CONTROL



A-8 ZONE DIMENSIONAL REGULATIONS:

ZONING CRITERIA	REQUIRED	EXISTING LOT 2006	PROPOSED LOT 2006-1	PROPOSED LOT 2006-2
ZONING DISTRICT	A-8	A-8	A-8	A-8
MIN. LOT AREA	8,000 SF	29,216 SF	15,297 SF	10,562 SF
MIN. LOT WIDTH/FRONTAGE	80 FT	NONE**	106 FT	106 FT
MIN. FRONT YARD	25 FT	N/A	48 FT	52 FT
MIN. SIDE YARD	10 FT	N/A	10 FT	14 FT
MIN. REAR YARD	20 FT	N/A	N/A	20 FT
MAX. BLD. COVERAGE	30%	N/A	14%	19.5 %
MAX. BUILDING HEIGHT	35 FT	N/A	TBD	TBD

- DRAWING ISSUE:**
- CONCEPT
 - CUSTOMER APPROVAL
 - PERMITTING
 - CONSTRUCTION
 - AS-BUILT
 - OTHER:
- ONLY PLANS ISSUED FOR CONSTRUCTION SHALL BE USED FOR CONSTRUCTION

Thomas J. Principe, III
No. 9107
REGISTERED PROFESSIONAL ENGINEER

PRINCIPE COMPANY, INC.
ENGINEERING DIVISION
27 SAKONNET RIDGE DR
TIVERTON, RI 02878
401.265.1090
WWW.PRINCIPEENGINEERING.COM

PRELIMINARY PLAN - MINOR SUBDIVISION
for
"CULLION HOMES"
AP 18-3 LOT 2006
NEW LONDON AVENUE
in
CRANSTON, RHODE ISLAND

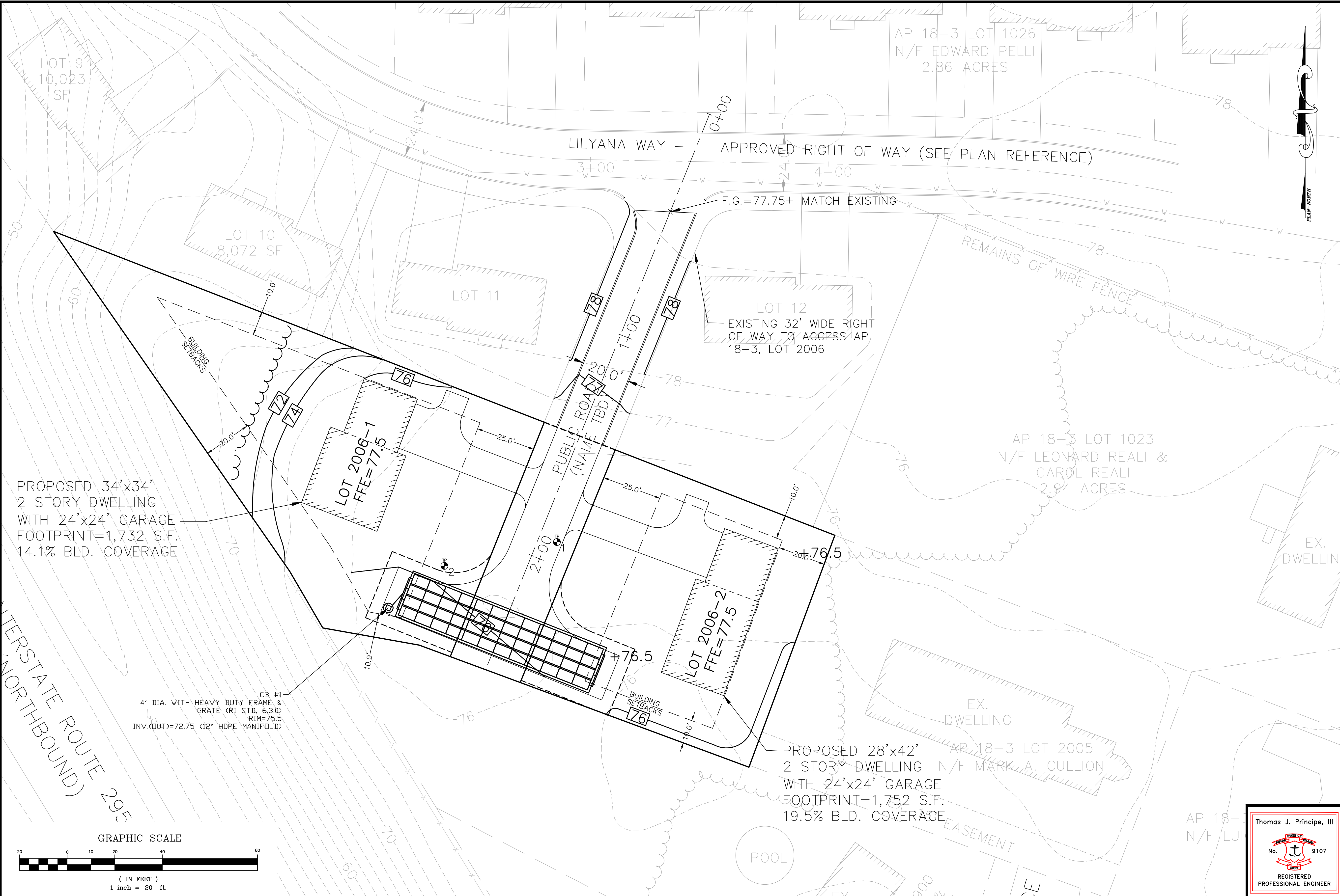
STREET INDEX
BRIARWOOD ROAD (TOWN, PUBLIC)
NEW LONDON AVENUE (STATE, PUBLIC)

REVISIONS

No.	DATE	DRWN	CHKD

SCALE: 1" = 20' SHEET NO: 3 OF 10

DRAWN BY: NEC	DESIGN BY: SJL	CHECKED BY: TJP
DATE: 07/22/25	PROJECT NO.: LD-2022-16	



LEGEND

EXISTING PROPERTY LINE	---
ABUTTER LINE	---
EX. EDGE OF PAVEMENT	---
EXISTING CONTOUR	- 87 -
EXISTING SPOT GRADE	x 87
EX. TEST PIT	⊙
EXISTING STONE WALL	⊗
EXISTING FENCE LINE	⊗
EXISTING BUILDING	⊗
EXISTING UTILITY POLE	⊗
EXISTING HYDRANT	⊗
PROPOSED LOT LINE	---
BUILDING SETBACK	⊕
PROPOSED DOWNSPOUTS	⊕
PROPOSED CONTOUR	- 87 -
PROPOSED SPOT GRADE	x 116.5
PROPOSED SEWER LINE	S
PROPOSED WATER LINE	W
PROPOSED DRAIN LINE	D
DRILL HOLE	D.H.
GRANITE (CONCRETE) BOUND	G.B. / C.B.
IRON ROD	I.R.
PROPOSED EROSION CONTROLS	---
LIMITS OF CLEARING/DISTURB.	---

STREET INDEX

BRIARWOOD ROAD (TOWN, PUBLIC)
NEW LONDON AVENUE (STATE, PUBLIC)

ZONING: A-8

MIN. LOT AREA	8,000 SF
MIN. LOT WIDTH/FRONTAGE	80 FT
MIN. FRONT YARD	25 FT
MIN. SIDE YARD	10 FT
MIN. REAR YARD	20 FT
MAX. BLD. COVERAGE	30%
MAX. BUILDING HEIGHT	35 FT

OWNERS:
LOT 2006: PRESERVATION DEVELOPMENT, LLC
29 SOUTH VIEW TERRACE
CRANSTON, RI 02920-1417

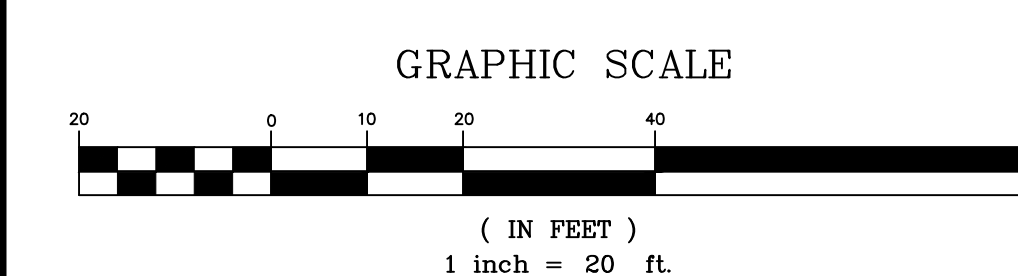
APPLICANT:
MARK CULLION
875 PHENIX AVENUE
CRANSTON, RI 02920
401.783.4650

GRADING AND DRAINAGE

PROPOSED 34'x34'
2 STORY DWELLING
WITH 24'x24' GARAGE
FOOTPRINT=1,732 S.F.
14.1% BLD. COVERAGE

PROPOSED 28'x42'
2 STORY DWELLING
WITH 24'x24' GARAGE
FOOTPRINT=1,752 S.F.
19.5% BLD. COVERAGE

CB #1
4' DIA. WITH HEAVY DUTY FRAME & GRATE (RI STD. 6.3.0)
RIM=75.5
INV.(OUT)=72.75 (12" HDPE MANIFOLD)



PLAN REFERENCE:

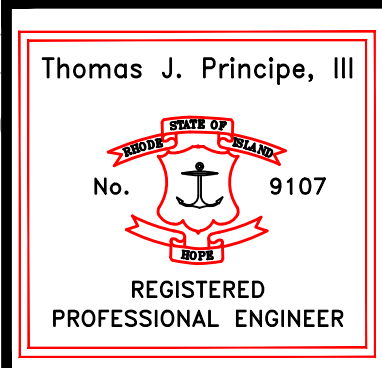
- FINAL PLAN SUBMISSION FOR A PROPOSED 14-LOT MAJOR SUBDIVISION - BRIARWOOD ESTATES CRANSTON, RHODE ISLAND AP 18-3, LOTS 1023 & 1026 DATE: MARCH 2022, LAST REVISED: 9/27/23 PREPARED BY: JOE CASALI ENGINEERING, INC. 300 POST ROAD WARWICK, R 02888I PHONE: 401.944.1300
- ADMINISTRATIVE SUBDIVISION PLAN PREPARED BY E. GREENWICH SURVEYORS, LLC DATE: FEB. 2022
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- CLASS I BOUNDARY SURVEY - FINAL RECORD PLAN - BRIARWOOD ESTATES PREPARED FOR UNIVERSAL REALTY, LLC - LOCATION NEW LONDON AVENUE A.P. 18-3/LOT 1026 CRANSTON, R.I. DATE: 9-27-23 REVISED: 10-12-23 PREPARED BY E. GREENWICH SURVEYORS, L.L.C.

DRAWING ISSUE:

- CONCEPT
 - CUSTOMER APPROVAL
 - PERMITTING
 - CONSTRUCTION
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 - OTHER:
- ONLY PLANS ISSUED FOR CONSTRUCTION SHALL BE USED FOR CONSTRUCTION

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BRIARWOOD ROAD (TOWN, PUBLIC)
NEW LONDON AVENUE (STATE, PUBLIC)



PRINCIPE COMPANY, INC.
ENGINEERING DIVISION
27 SAKONNET RIDGE DR
TIVERTON, RI 02878
401.265.1090
WWW.PRINCIPEENGINEERING.COM

A-8 ZONE DIMENSIONAL REGULATIONS:

ZONING CRITERIA	REQUIRED	EXISTING LOT 2006
ZONING DISTRICT	A-8	A-8
MIN. LOT AREA	8,000 SF	29,216 SF
MIN. LOT WIDTH/FRONTAGE	80 FT	NONE**
MIN. FRONT YARD	25 FT	N/A
MIN. SIDE YARD	10 FT	N/A
MIN. REAR YARD	20 FT	N/A
MAX. BLD. COVERAGE	30%	N/A
MAX. BUILDING HEIGHT	35 FT	N/A

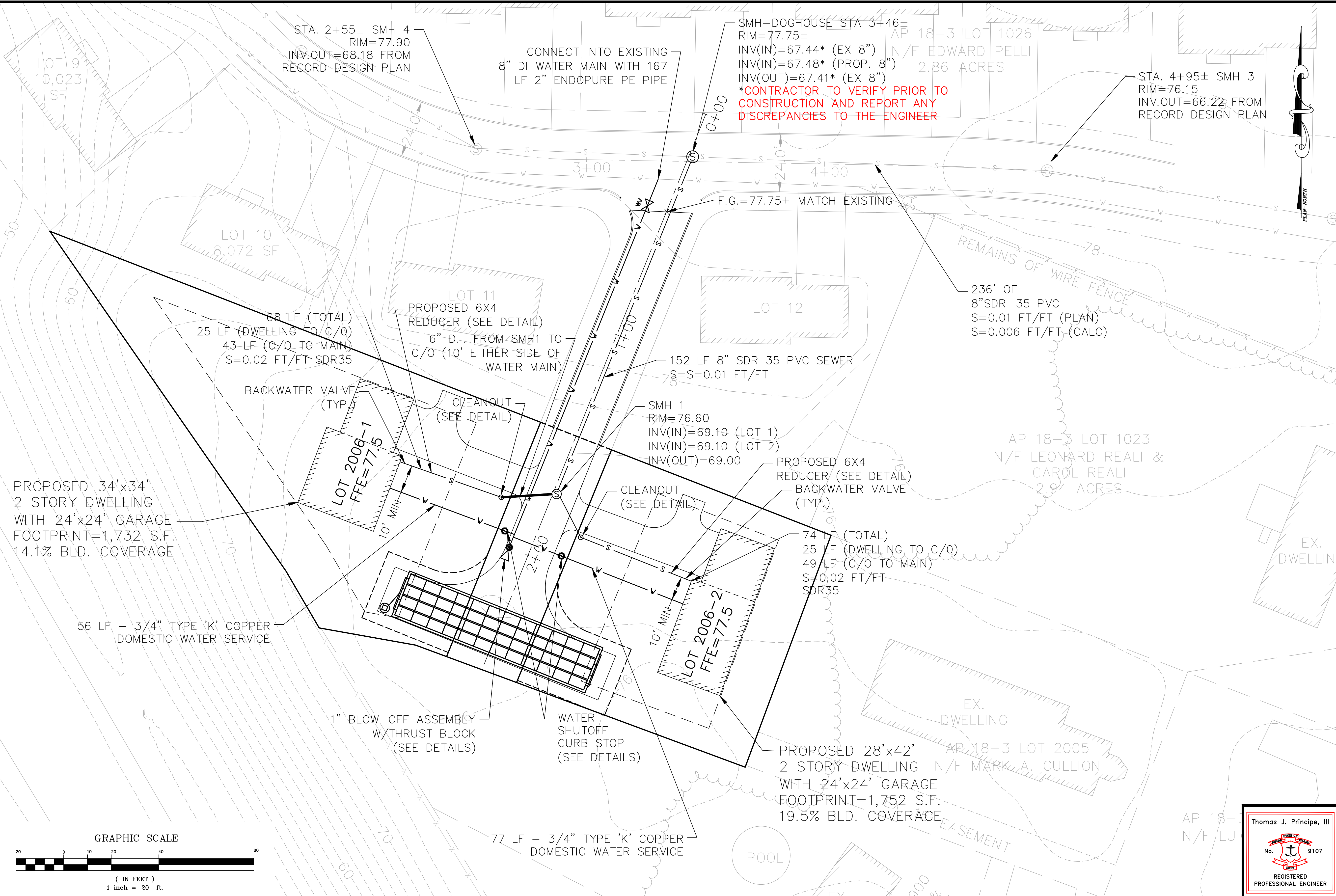
REVISIONS

No.	DATE	DRWN	CHKD

PRELIMINARY PLAN - MINOR SUBDIVISION
for
"CULLION HOMES"
AP 18-3 LOT 2006
NEW LONDON AVENUE
in
CRANSTON, RHODE ISLAND

SCALE: 1" = 20'	SHEET NO: 4 OF 10
DRAWN BY: NEC	DESIGN BY: SJL
DATE: 07/22/25	CHECKED BY: TJP
PROJECT NO.: LD-2022-16	

C:\Users\Seth Lemoine\Principe Engineering Dropbox\Land Development\2022\LD-2022-16_New London Avenue Cranston_Mark Cullion\Current Working Drawings and PDFs\LD-2022-1



LEGEND

EXISTING PROPERTY LINE	---
ABUTTER LINE	---
EX. EDGE OF PAVEMENT	---
EXISTING CONTOUR	---87---
EXISTING SPOT GRADE	x 87
EX. TEST PIT	⊗
EXISTING STONE WALL	⊗
EXISTING FENCE LINE	⊗
EXISTING BUILDING	⊗
EXISTING UTILITY POLE	⊗
EXISTING HYDRANT	⊗
PROPOSED LOT LINE	---
BUILDING SETBACK	---
PROPOSED DOWNSPOUTS	⊕
PROPOSED CONTOUR	---87---
PROPOSED SPOT GRADE	x 116.5
PROPOSED SEWER LINE	---
PROPOSED WATER LINE	---
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DRILL HOLE	D.H.
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PROPOSED EROSION CONTROLS	---
LIMITS OF CLEARING/DISTURB.	---

STREET INDEX

BRIARWOOD ROAD (TOWN, PUBLIC)
NEW LONDON AVENUE (STATE, PUBLIC)

ZONING: A-8

MIN. LOT AREA	8,000 SF
MIN. LOT WIDTH/FRONTAGE	80 FT
MIN. FRONT YARD	25 FT
MIN. SIDE YARD	10 FT
MIN. REAR YARD	20 FT
MAX. BLD. COVERAGE	30%
MAX. BUILDING HEIGHT	35 FT

WATER UTILITY (KCWA)

WATER SERVICE PIPE DIMENSIONS:

2" WATER MAIN	167 LF
3/4" SERVICE (LOT 1)	56 LF
3/4" SERVICE (LOT 2)	71 LF
TOTAL	294 LF

NOTE - ALL WATER LINES MUST BE 5 FT MIN. BELOW GRADE

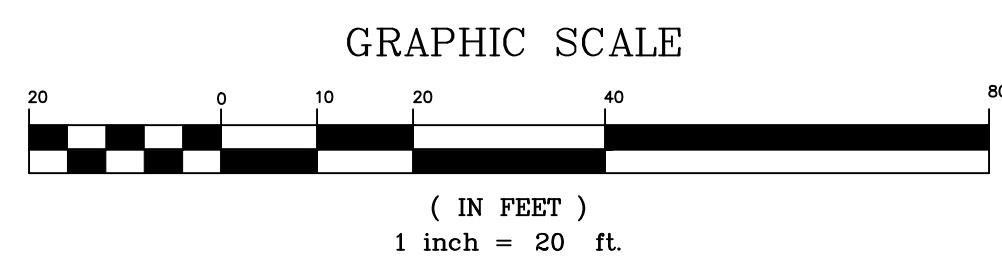
WATER FLOW USE:
LOT 1 = LOT 2
3 BDRM x 2 CAPITA/BDRM x 100 GPD/CAPITA = 600 GPD
TOTAL FLOW USAGE = 2 DWELLINGS x 600 GPD = 1,200 GPD

*NOTE - AS-BUILT/RECORD DRAWINGS ARE REQUIRED IN ACCORDANCE WITH KCWA RULE & REGULATIONS PART III, SECTION 3.13

OWNERS:
LOT 2006: PRESERVATION DEVELOPMENT, LLC
29 SOUTH VIEW TERRACE
CRANSTON, RI 02920-1417

APPLICANT:
MARK CULLION
875 PHENIX AVENUE
CRANSTON, RI 02920
401.783.4650

WATER & SEWER UTILITIES



A-8 ZONE DIMENSIONAL REGULATIONS:

ZONING CRITERIA	REQUIRED	EXISTING LOT 2006
ZONING DISTRICT	A-8	A-8
MIN. LOT AREA	8,000 SF	29,216 SF
MIN. LOT WIDTH/FRONTAGE	80 FT	NONE**
MIN. FRONT YARD	25 FT	N/A
MIN. SIDE YARD	10 FT	N/A
MIN. REAR YARD	20 FT	N/A
MAX. BLD. COVERAGE	30%	N/A
MAX. BUILDING HEIGHT	35 FT	N/A

PLAN REFERENCE:

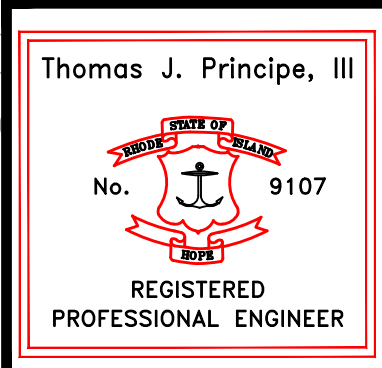
- FINAL PLAN SUBMISSION FOR A PROPOSED 14-LOT MAJOR SUBDIVISION - BRIARWOOD ESTATES CRANSTON, RHODE ISLAND AP 18-3, LOTS 1023 & 1026 DATE: MARCH 2022, LAST REVISED: 9/27/23 PREPARED BY: JOE CASALI ENGINEERING, INC. 300 POST ROAD WARWICK, R 02888I PHONE: 401.944.1300
- ADMINISTRATIVE SUBDIVISION PLAN PREPARED BY E. GREENWICH SURVEYORS, LLC DATE: FEB. 2022
- CLASS I BOUNDARY SURVEY PLAN PREPARED BY PRINCIPE COMPANY, INC. SURVEYING DIVISION TITLED BOUNDARY SURVEY PLAN FOR PRESERVATION DEVELOPMENT LLC ASSESSORS PLAT 18-3 LOT 2006 0 SOUTHVIEW TERRACE IN CRANSTON, RHODE ISLAND DATE: JANUARY 20, 2025
- CLASS I BOUNDARY SURVEY - FINAL RECORD PLAN - BRIARWOOD ESTATES PREPARED FOR UNIVERSAL REALTY, LLC - LOCATION NEW LONDON AVENUE A.P. 18-3/LOT 1026 CRANSTON, R.I. DATE: 9-27-23 REVISED: 10-12-23 PREPARED BY E. GREENWICH SURVEYORS, L.L.C.

DRAWING ISSUE:

<input type="checkbox"/> CONCEPT
<input type="checkbox"/> CUSTOMER APPROVAL
<input checked="" type="checkbox"/> PERMITTING
<input type="checkbox"/> CONSTRUCTION
<input type="checkbox"/> AS-BUILT
<input type="checkbox"/> OTHER:

ONLY PLANS ISSUED FOR CONSTRUCTION SHALL BE USED FOR CONSTRUCTION

STREET INDEX
BRIARWOOD ROAD (TOWN, PUBLIC)
NEW LONDON AVENUE (STATE, PUBLIC)

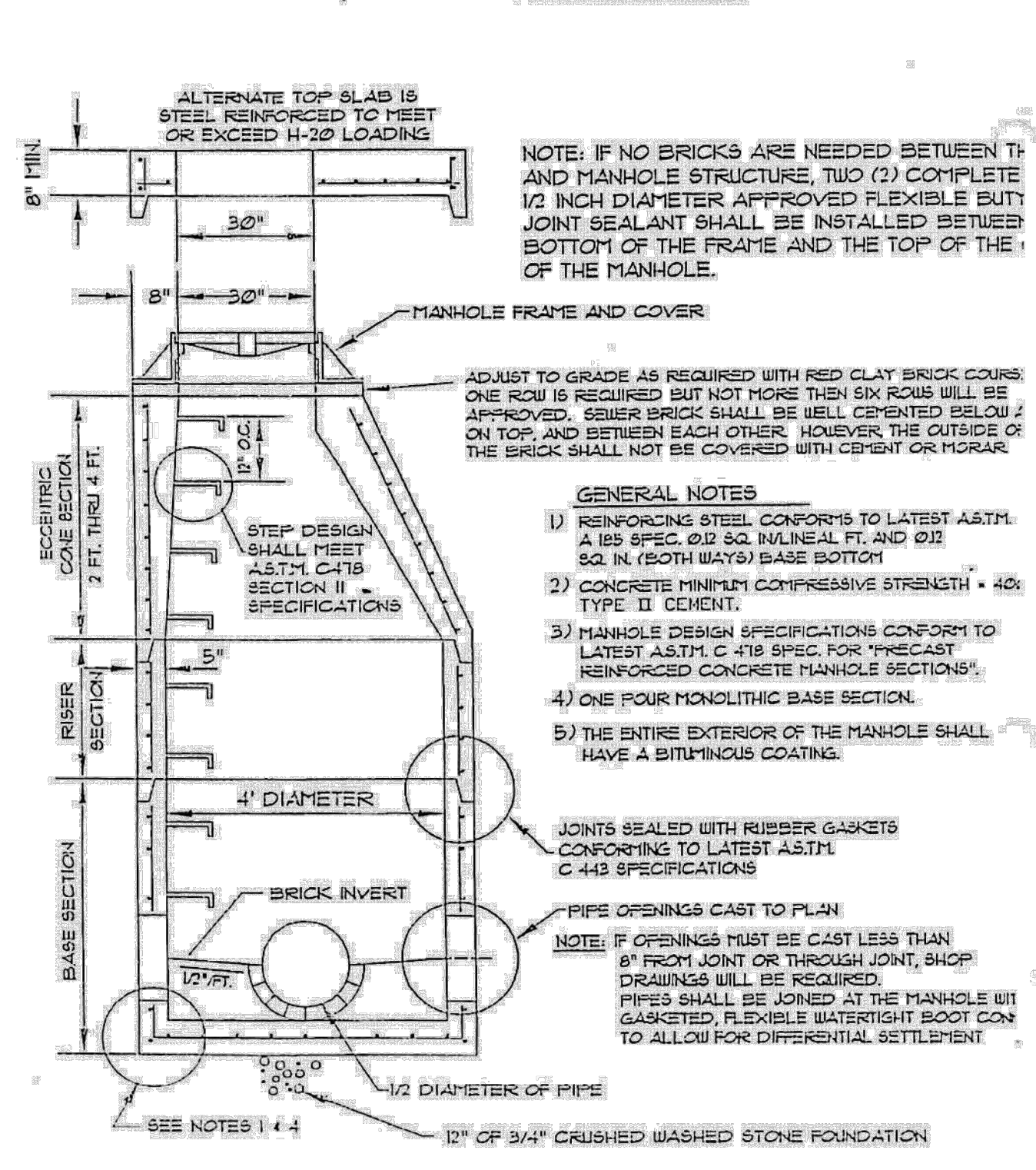


PRINCIPE COMPANY, INC.
ENGINEERING DIVISION
27 SAKONNET RIDGE DR
TIVERTON, RI 02878
401.265.1090
WWW.PRINCIPEENGINEERING.COM

PRELIMINARY PLAN - MINOR SUBDIVISION
for
"CULLION HOMES"
AP 18-3 LOT 2006
NEW LONDON AVENUE
in
CRANSTON, RHODE ISLAND

SCALE: 1" = 20'	SHEET NO: 5 OF 10	
DRAWN BY: SJL	DESIGN BY: SJL	CHECKED BY: TJP
DATE: 07/22/25	PROJECT NO: LD-2022-16	

City of Cranston - Sewer Manhole Detail



NOTE: IF NO BRICKS ARE NEEDED BETWEEN TI AND MANHOLE STRUCTURE, TWO (2) COMPLETE 1/2 INCH DIAMETER APPROVED FLEXIBLE BUTT JOINT SEALANT SHALL BE INSTALLED BETWEEN BOTTOM OF THE FRAME AND THE TOP OF THE OF THE MANHOLE.

ADJUST TO GRADE AS REQUIRED WITH RED CLAY BRICK COURSE ONE ROW IS REQUIRED BUT NOT MORE THAN SIX ROWS WILL BE APPROVED. SEWER BRICK SHALL BE WELL CEMENTED BELOW ON TOP AND BETWEEN EACH OTHER. HOWEVER THE OUTSIDE OF THE BRICK SHALL NOT BE COVERED WITH CEMENT OR MORTAR.

- GENERAL NOTES**
- 1) REINFORCING STEEL CONFORMS TO LATEST ASTM. A 99 SPEC. #12 30 INCHES FT. AND #12 #4 IN (BOTH WAYS) BASE BOTTOM
 - 2) CONCRETE MINIMUM COMPRESSIVE STRENGTH = 4000 PSI TYPE II CEMENT.
 - 3) MANHOLE DESIGN SPECIFICATIONS CONFORM TO LATEST ASTM C-418 SPEC FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS".
 - 4) ONE FOUR MONOLITHIC BASE SECTION.
 - 5) THE ENTIRE EXTERIOR OF THE MANHOLE SHALL HAVE A BITUMINOUS COATING.

JOINTS SEALED WITH RUBBER GASKETS CONFORMING TO LATEST ASTM C-418 SPECIFICATIONS

PIPE OPENINGS CAST TO PLAN

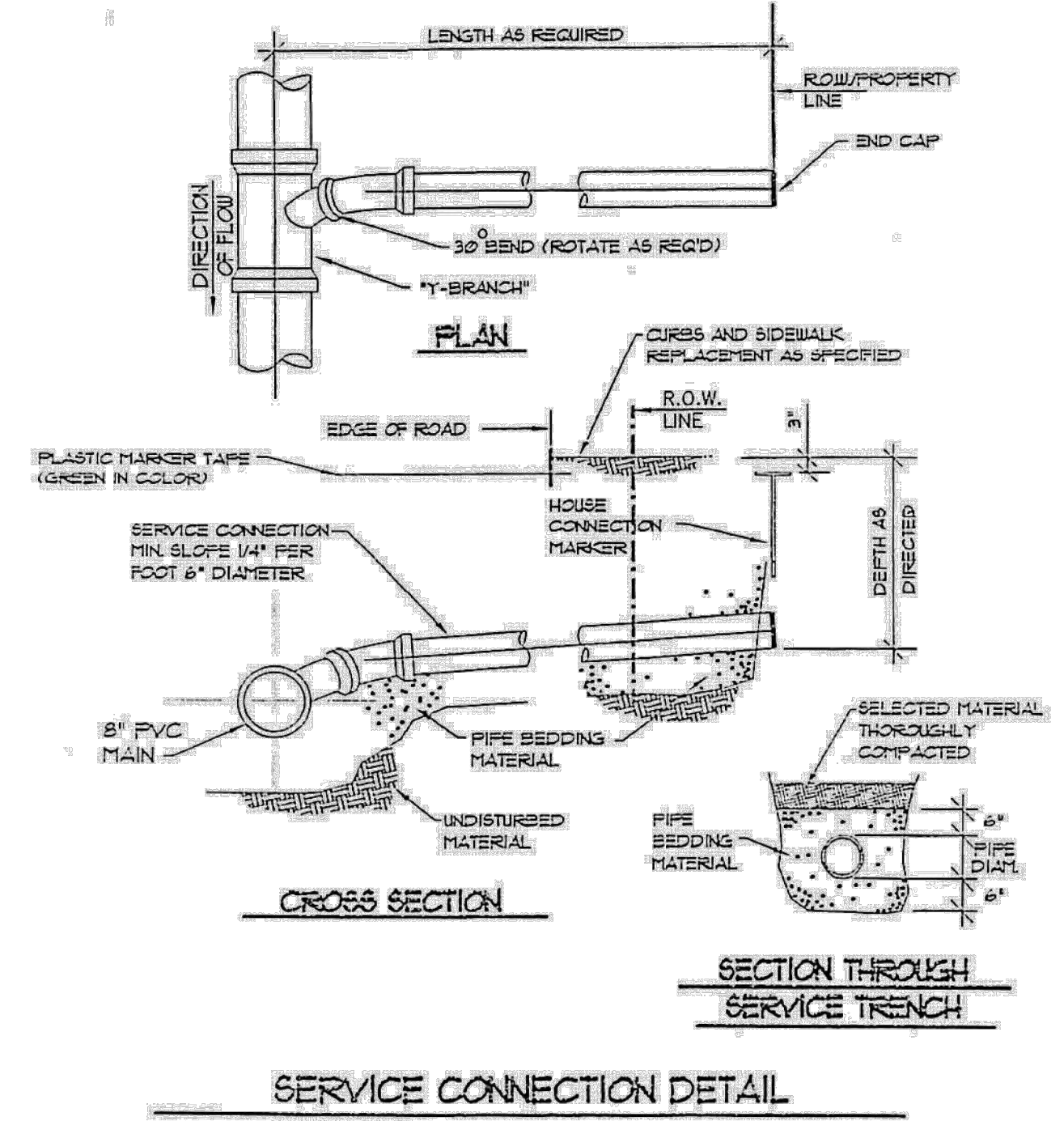
NOTE: IF OPENINGS MUST BE CAST LESS THAN 8" FROM JOINT OR THROUGH JOINT, SHOP DRAININGS WILL BE REQUIRED.

PIPES SHALL BE JOINED AT THE MANHOLE WITH GASKETED, FLEXIBLE WATERTIGHT BOOT CON TO ALLOW FOR DIFFERENTIAL SETTLEMENT

PRECAST MANHOLE - 4 FT. DIAMETER

SCALE: N.T.S.

THE MANHOLE STRUCTURE SECTIONS SHALL BE PROPERLY ALIGNED TO ONE ANOTHER. SECTIONS SHALL BE MADE FROM THE SAME MANUFACTURER FOR PROPER FITTING OF SECTIONS, BOTTOM SECTION, BARRELS, AND CONES. MANHOLE STRUCTURE WILL NOT BE APPROVED UNLESS THEY ARE PROPERLY ALIGNED WITH EACH SECTION.

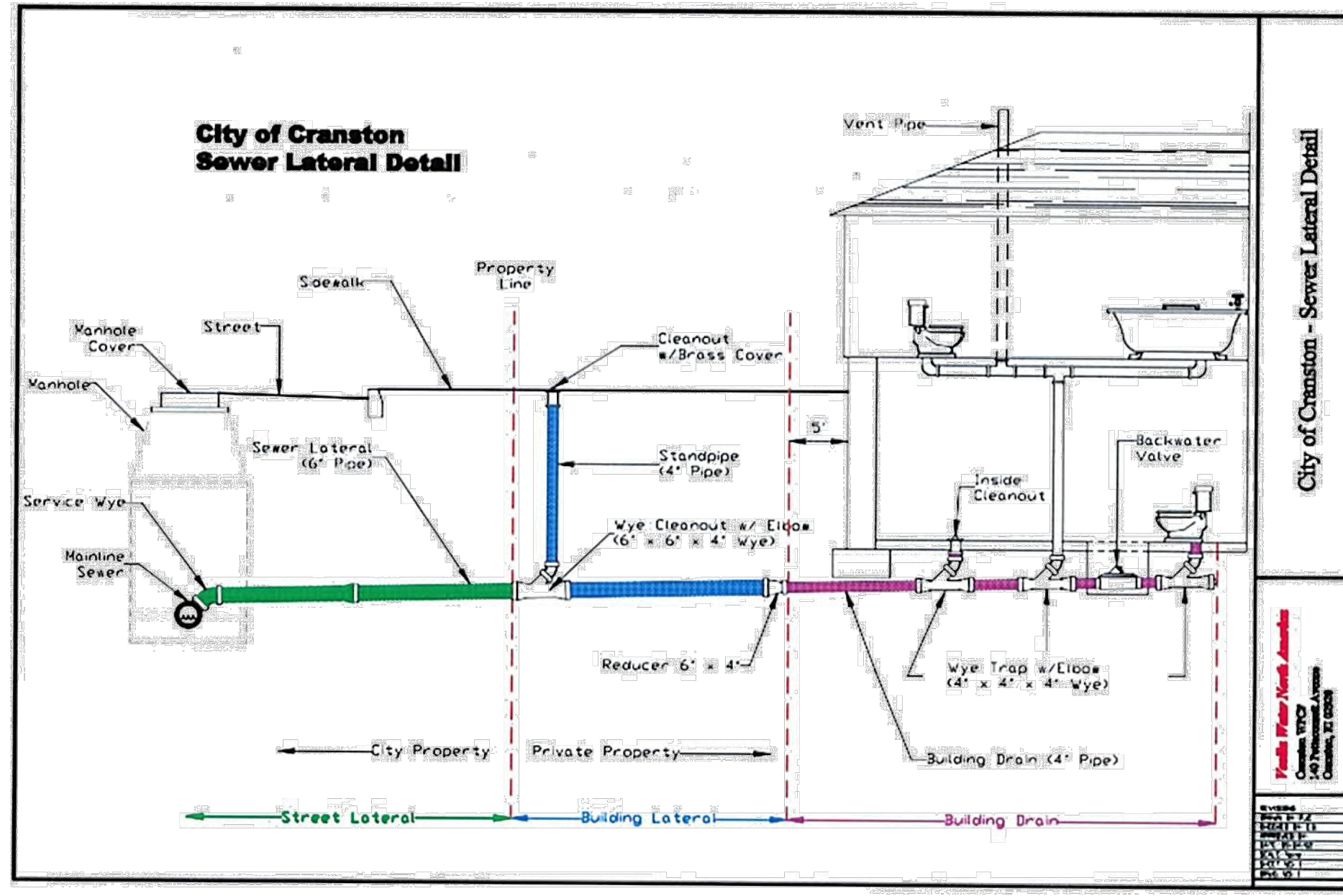


SERVICE CONNECTION DETAIL

SCALE: N.T.S.

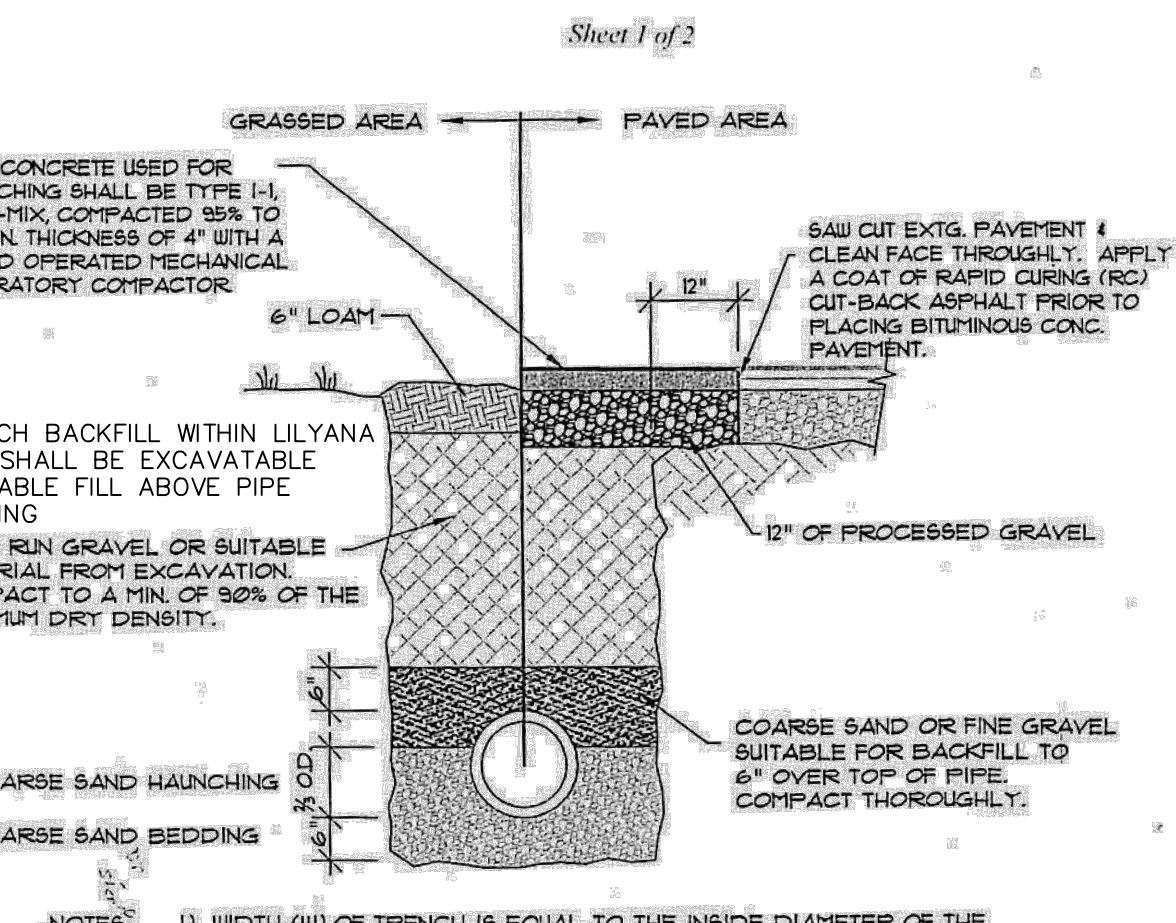
NOTE: THIS DETAIL IS TO BE USED WHEN CONNECTING TO SEWER LATERAL IN LIEU OF MANHOLE

City of Cranston Sewer Lateral Detail



City of Cranston - Sewer Lateral Detail

Public Water Dept. Approval
Cranston, RI 02910



TYPICAL SEWER LINE TRENCH DETAIL

SCALE: N.T.S.

- NOTES**
- 1) WIDTH (W) OF TRENCH IS EQUAL TO THE INSIDE DIAMETER OF THE PIPE PLUS 12"
 - 2) SOIL UNDER CRUSHED STONE FOUNDATION SHALL BE UNDISTURBED AND COMPACTED WITH SEVERAL PASSES OF A VIBRATORY PLATE COMPACTOR
 - 3) CRUSHED STONE FOUNDATION 3/4" MAXIMUM SIZE, SHALL BE PLACED 6" UNDER THE PIPE AND UP TO THE PIPE GRADE, THE PIPE LAID THEREON, CRUSHED STONE PULLED AGAINST THE PIPE SIDES TO FIRMLY HOLD THE PIPE IN PLACE
 - 4) CRUSHED STONE HAUNCHING 3/4" MAXIMUM SIZE SHALL BE BROUGHT LEVEL TO THE TOP OF THE PIPE AND OUT TO THE TRENCH WALL AT THIS ELEVATION FOR ALL PIPE

SEWER MAIN CONSTRUCTION NOTES:

1. FOR GENERAL SPECIFICATIONS REGARDING SANITARY SEWERS, THE CONTRACTOR SHALL REFER TO THE CITY OF CRANSTON BOOK "THE CODE OF THE CITY OF CRANSTON RHODE ISLAND", CHAPTER 26, SEWERS, SPECIFICATIONS, AND THE DEPARTMENT OF PUBLIC WORKS ANNEX A-DESIGN OF SEWERS (PROMULGATED 8/13/02) FOR HIGHWAYS COVERING RESIDENTIAL AND INDUSTRIAL PLAT DEVELOPMENTS, CHAPTER 27.
2. PRIVATE SEWERS AND SEWER EXTENSION INTO ADJACENT COMMUNITIES, WHICH CONNECT TO THE CITY SEWER SYSTEM, SHALL BE INSTALLED IN CONFORMANCE WITH THE CITY SEWER USE ORDINANCE AND THESE REGULATIONS UNLESS OTHERWISE APPROVED BY THE CITY PUBLIC WORKS DIRECTOR.
3. ALL SANITARY SEWER CONSTRUCTION SHALL BE INSPECTED BY THE VEOLIA WATER NORTH AMERICA COLLECTIONS SYSTEM DEPARTMENT. (VEOLIA-CRANSTON WPCF).
4. NO PERSON SHALL MAKE A CONNECTION OF ROOF DOWNSPOUTS, FLOOR DRAINS, SUMP PUMPS, EXTERIOR FOUNDATION DRAINS, AREAWAY DRAINS, OR OTHER SOURCES OF SURFACE RUNOFF OR GROUNDWATER TO ANY COMPONENT OF THE SANITARY SEWER SYSTEM.
5. NO GRAVITY SEWER MAIN SHALL BE LESS THAN EIGHT (8) INCHES (20.3 cm) DIAMETER.
6. GRAVITY SEWER PIPE SHALL BE ASTM RIGID SDR-35 PVC OR HEAVIER PVC PIPE FOR SEWER USE CONFORMING TO ASTM SPECIFICATIONS D-3034; OR CEMENT LINED DUCTILE IRON MANUFACTURED IN ACCORDANCE WITH ANSI/AWWA C151/A21.51, C111/A21.11, AND C150/A21.50; OR AS APPROVED BY THE CITY PUBLIC WORKS DIRECTOR. ALL PIPES SHALL HAVE COMPRESSION JOINTS WITH AN ELASTOMERIC GASKET TYPE CONFORMING TO ASTM D-3212; OR AS APPROVED BY THE CITY PUBLIC WORKS DIRECTOR.
7. MAIN GRAVITY SEWER PIPE SHALL BE INSTALLED BY USING A LASER INVERT THAT SETS UP IN AN INVERT IN THE DOWNSTREAM MANHOLE. A TARGET WILL BE PLACED AT THE END OF EACH PIPE THAT IS INSTALLED TO ENSURE PROPER ALIGNMENT AND SLOPE.
8. ALL SANITARY SEWER CONNECTIONS SHALL BE GASKETED TIGHT.
9. THE MINIMUM COVER SHALL BE FOUR (4) FEET OVER THE CROWN OF THE PIPE FOR ALL MAINS AND LATERALS EXCEPT THAT INSULATION MAY BE PROVIDED FOR SEWERS THAT CANNOT BE PLACED AT A DEPTH SUFFICIENT TO PREVENT FREEZING UPON THE APPROVAL OF THE PUBLIC WORKS DIRECTOR.
10. UNDERGROUND DETECTABLE TAPE STATING "CAUTION: BURIED SEWER BELOW" WILL BE PLACED IN THE TRENCH BETWEEN THE TOP OF PIPE AND 12" FROM FINISHED GRADE.
11. SEWER LATERALS SHALL BE 6" SDR-35 PVC AND BE INSTALLED AT THE MINIMUM SLOPE OF AT LEAST ONE-QUARTER INCH PER FOOT (2.1 cm/m). ALL PIPES SHALL HAVE COMPRESSION JOINTS.
12. WHERE PRACTICAL, SEWER LATERALS SHALL BE TIED INTO A MANHOLE. A BORING MACHINE SHALL BE USED TO MAKE A HOLE THROUGH ANY MANHOLE STRUCTURE. A FLEXIBLE WATERTIGHT GASKET SHALL BE USED TO CONNECT THE STRUCTURE TO THE PIPE OR AN APPROVED WATERTIGHT FLEXIBLE SLEEVE. THE PIPE SHALL BE PARGED ON THE INSIDE OF THE MANHOLE TO MAKE THE INVERT CLEAN.
13. WHERE SEWER LATERALS CONNECT TO A SEWER MAIN, AN 8"x8"x6" WYE SHALL BE INSTALLED IN THE MAIN TO MAKE THE CONNECTION. A 6" SDR-35 ANGLE, NOT GREATER THAN 45°, IS TO BE USED TO PROVIDE THE PROPER FLOW ALIGNMENT.
14. NO LATERAL MAY SERVICE MORE THAN ONE BUILDING OR PRIVATELY OWNED BUILDING UNITS.
15. MINIMUM BEDDING MATERIAL REQUIREMENTS FOR SEWER PIPE INSTALLATION SHALL BE CLASS "B" AS DESCRIBED IN ASTM C-12. WITH A MINIMUM DEPTH OF SIX (6) INCHES.
16. BEDDING MATERIAL SHALL BE COMPACTED EVENLY UNDER AND ON BOTH SIDES OF THE PIPE SO THAT THE PIPE REMAINS ALIGNED AND TRUE.
17. BACKFILL SHALL BE INSTALLED IN LAYERS NO MORE THAN 8" THICK AFTER COMPACTION AND SHALL BE COMPACTED TO NOT LESS THAN 95% OF MAXIMUM DRY DENSITY ACCORDING TO AASHTO T198.
18. BACKFILL MATERIAL SHALL NOT CONTAIN FROZEN MATERIAL, LARGE DIRT CLODS, STONES, ORGANIC MATTER, OR UNSUITABLE MATERIALS. ADDITIONAL BACKFILL DETAILS, FOR CITY STANDARDS CR-10/S-1, WHICH ARE AVAILABLE IN THE DIVISION OF ENGINEERING.
19. MANHOLES SHALL BE CONSTRUCTED OF PRECAST REINFORCED CONCRETE, ASTM DESIGNATION: C-478, LATEST EDITION; OR AS APPROVED BY THE DIRECTOR, AND SHALL HAVE O-RINGS OR BITUMINOUS BASED GASKETED JOINTS. A TWELVE-INCH (12") BEDDING OF COMPACTED 3/4" WASHED STONE SHALL BE PLACED UNDERNEATH ALL MANHOLE STRUCTURES. THE MINIMUM INTERNAL DIAMETER SHALL BE FORTY-EIGHT INCHES (48") (1.2m). ALL MANHOLE JOINTS AND PINHOLES SHALL BE PARGED FROM THE OUTSIDE AND INSIDE TO PREVENT INFILTRATION. FOLLOWING WHICH, A BITUMINOUS COATING SHALL BE INSTALLED ON THE ENTIRE EXTERIOR. INLET AND OUTLET PIPES SHALL BE JOINED TO THE MANHOLE WITH A GASKETED, FLEXIBLE WATERTIGHT CONNECTION OR WITH ANOTHER WATERTIGHT CONNECTION ARRANGEMENT THAT ALLOWS FOR DIFFERENTIAL SETTLEMENT OF THE PIPE AND THE MANHOLE. ALL INVERTS AND TABLES SHALL BE CONSTRUCTED WITH SMOOTH RED SEWER BRICKS. AT LEAST ONE ROW OF RED SEWER BRICKS SHALL BE INSTALLED BETWEEN THE MANHOLE STRUCTURE AND THE SEWER COVERS FRAME, BUT NOT TO EXCEED A (MAX OF 12" HIGH) THE BRICKS SHALL BE WELL CEMENTED BUT NO CEMENT IS ALLOWED ON THE FACE OF THE BRICKS.
20. AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE. DEVIATIONS OR CHANGES WILL NOT BE ALLOWED UNLESS APPROVED BY THE CITY PUBLIC WORKS DIRECTOR.
21. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
22. PRESSURE SEWER MAINS - A PRESSURE SEWER MAIN SHALL BE DESIGNED TO PROVIDE A VELOCITY OF 2 FEET PER SECOND AT THE AVERAGE DAILY FLOW OF THE INSTALLED SYSTEM. ALL PRESSURE LATERALS SHALL ENTER VIA A WYE. ALL BENDS SHALL BE LONG RADIUS SWEEPS. THE PIPE MATERIAL SHALL BE CLASS 200, SDR21 PVC OR GREATER OR APPROVED EQUAL. ALL LOW PRESSURE SEWER SYSTEM BURIED PIPING SHALL BE MARKED BY 3-INCH WIDE DETECTABLE TRACER TAPE SUITABLE FOR BURIAL AND DETECTION BY METAL OR PIPE LOCATORS. THRUST BLOCKS SHALL BE INSTALLED AT ALL BENDS, TEES, END CAPS, AND CHANGES IN DIRECTION OF SUFFICIENT SIZE TO RESIST MAXIMUM SYSTEM TRUST. ALL FITTINGS, VALVES, QUICK CONNECTS, CLEANOUTS, AIR/VACUUM VALVES AND OTHER APPURTENANCES SHALL BE OF CORROSION RESISTANT MATERIALS AND APPROPRIATE TO THE APPLICATION ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. THE LOW PRESSURE SEWER SYSTEM SHALL BE PRESSURE AND LEAKAGE TESTED USING WATER AT ONE HOUR AT 150 LBS. (SEE ANNEX A-DESIGN OF SEWERS FOR OTHER INFORMATION).

SEWER MAIN ORDER OF PROCEDURE:

1. THE OWNER OR THE DEVELOPER SHALL SUBMIT TO THE CITY OF CRANSTON'S DIRECTOR OF PUBLIC WORKS THE NAME OF THE QUALIFIED SEWER CONTRACTOR THAT WILL BE RESPONSIBLE FOR THE INSTALLATION OF THE SANITARY SEWER SYSTEM, TOGETHER WITH A BREAKDOWN OF ITEMS, QUANTITIES AND UNIT PRICES FOR THE PROJECT.
2. NO WORK CAN COMMENCE OF ANY SEWER INSTALLATION WITHOUT THE DIRECTOR'S APPROVAL OF THE PLANS AND CONTRACTOR.
3. THE CONTRACTOR THAT WAS APPROVED SHALL NOTIFY VEOLIA WATER OF NORTH AMERICA COLLECTIONS SYSTEM DEPARTMENT AND THE DIRECTOR OF PUBLIC WORKS FIVE (5) WORKING DAYS PRIOR TO COMMENCING ANY SEWER RELATED EXCAVATION. THE CONTRACTOR SHALL PROVIDE THE FOLLOWING INFORMATION: COMPANY NAME, PHONE NUMBER AND ADDRESS OF BOTH THE DEVELOPER AND CONTRACTOR ALONG WITH THE NAME AND PHONE NUMBER OF THE SEWER CONTRACTOR'S FOREMAN.

OWNERS:
LOT 2006:
PRESERVATION DEVELOPMENT, LLC
29 SOUTH VIEW TERRACE
CRANSTON, RI 02920-1417

APPLICANT:
MARK CULLION
875 PHENIX AVENUE
CRANSTON, RI 02920
401.783.4650

DETAILS - SEWER

PRINCIPE COMPANY, INC.
ENGINEERING DIVISION
27 SAKONNET RIDGE DR
TIVERTON, RI 02878
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WWW.PRINCIPEENGINEERING.COM

DRAWING ISSUE:

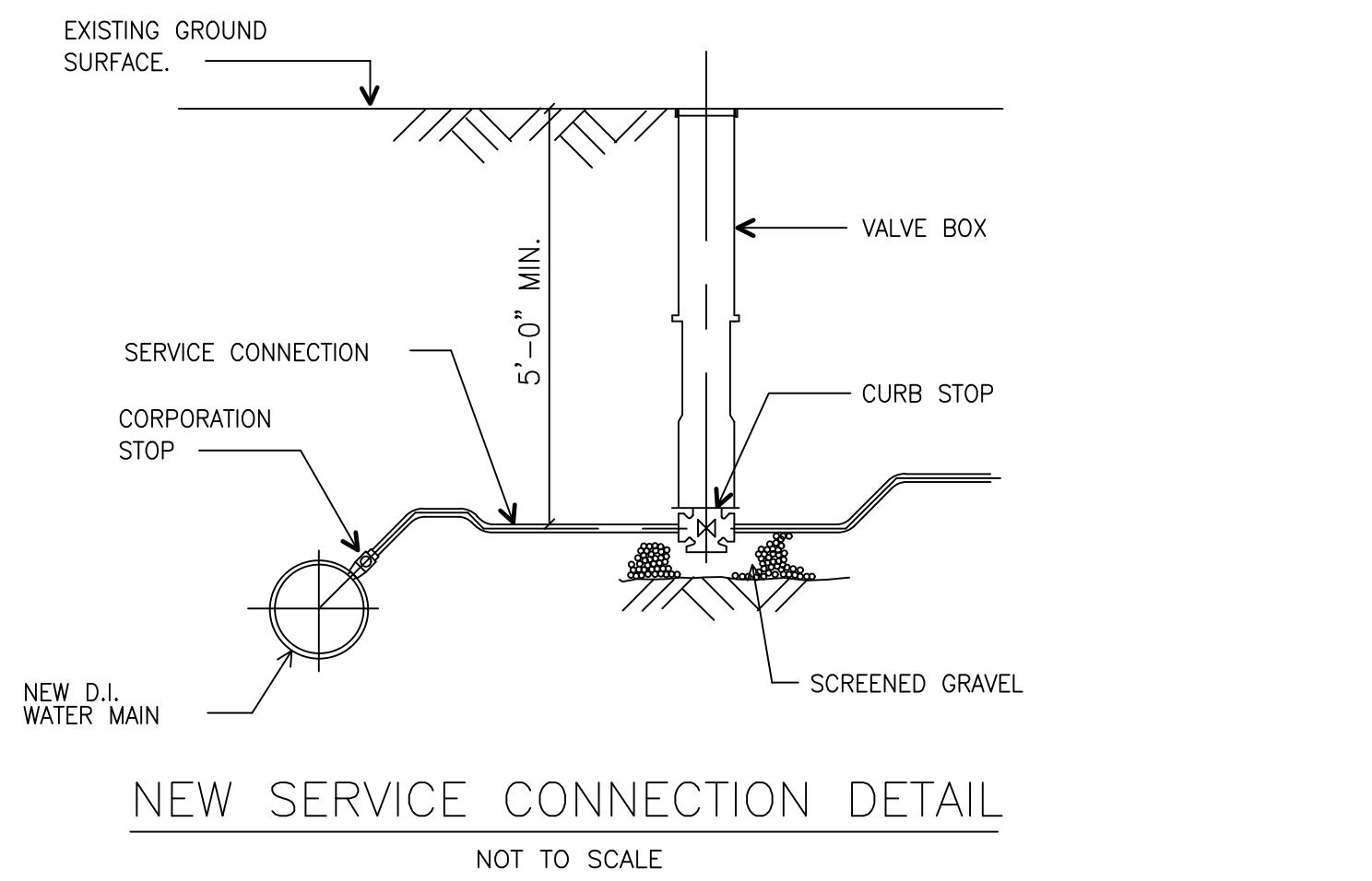
- CONCEPT
 - CUSTOMER APPROVAL
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 - CONSTRUCTION
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REVISIONS

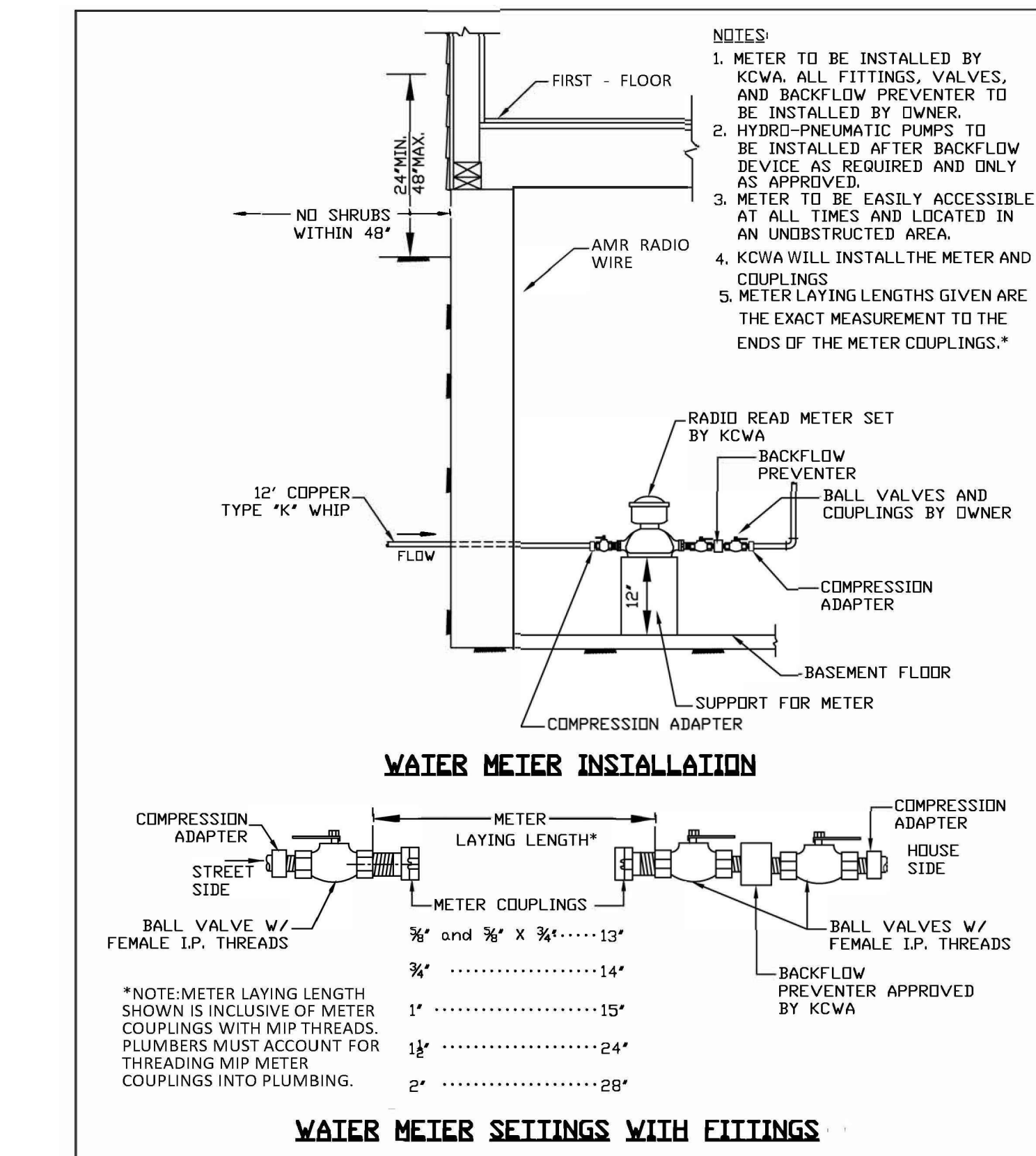
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PRELIMINARY PLAN - MINOR SUBDIVISION
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in
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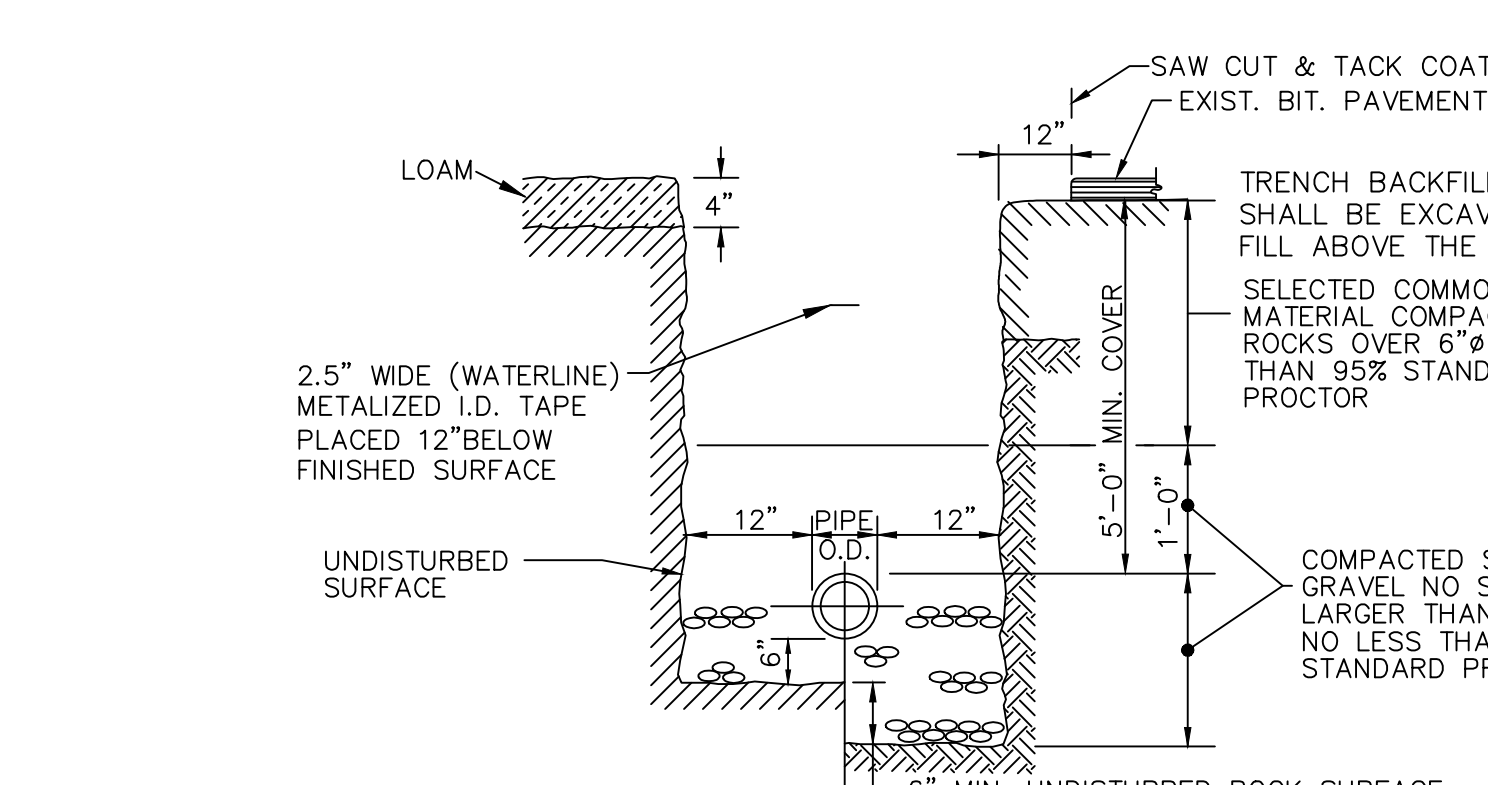
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DRAWN BY: NEC	DESIGN BY: S.J.L
DATE: 07/22/25	CHECKED BY: T.J.P
PROJECT NO.: LD-2022-16	



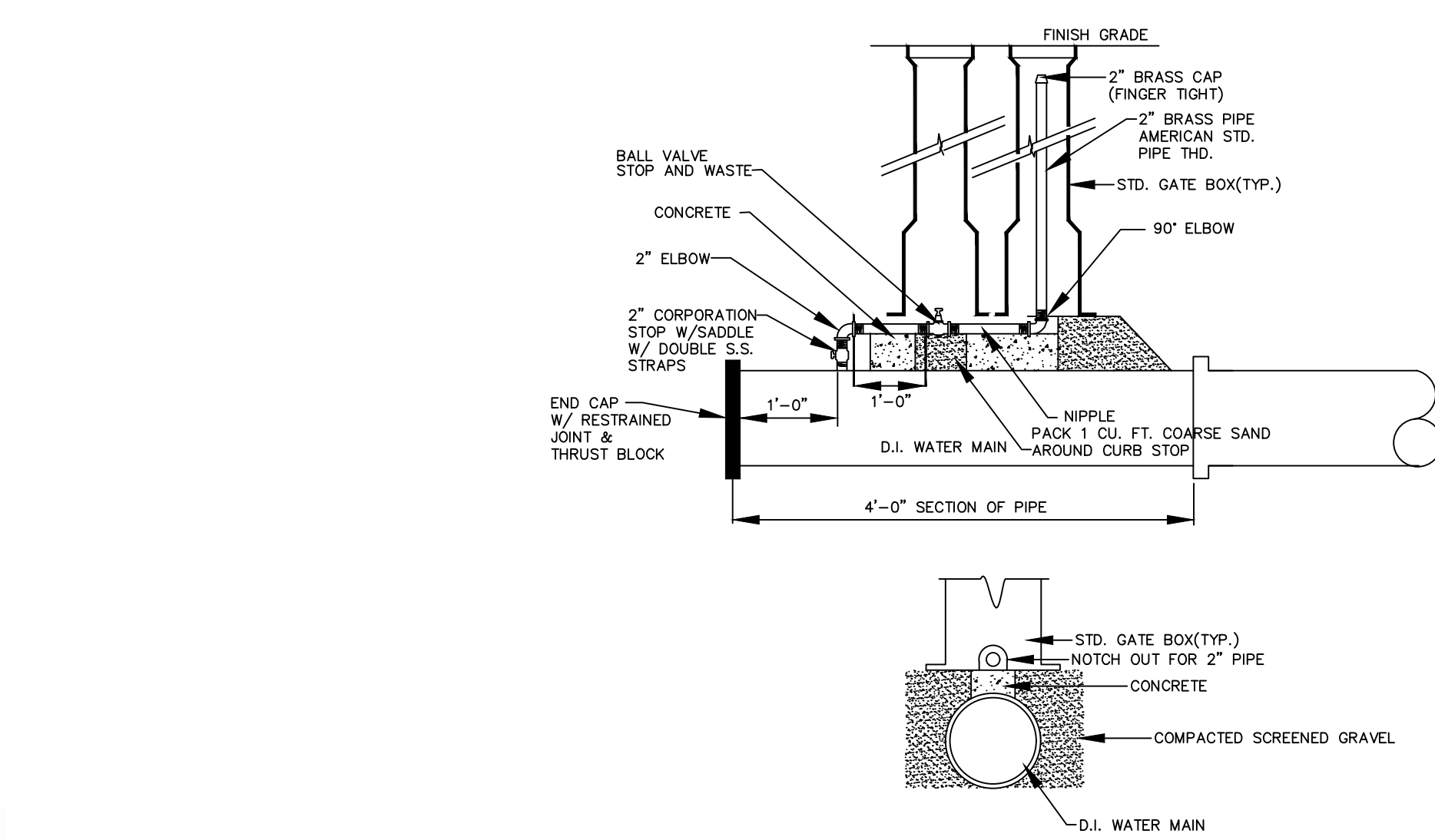
NEW SERVICE CONNECTION DETAIL
NOT TO SCALE



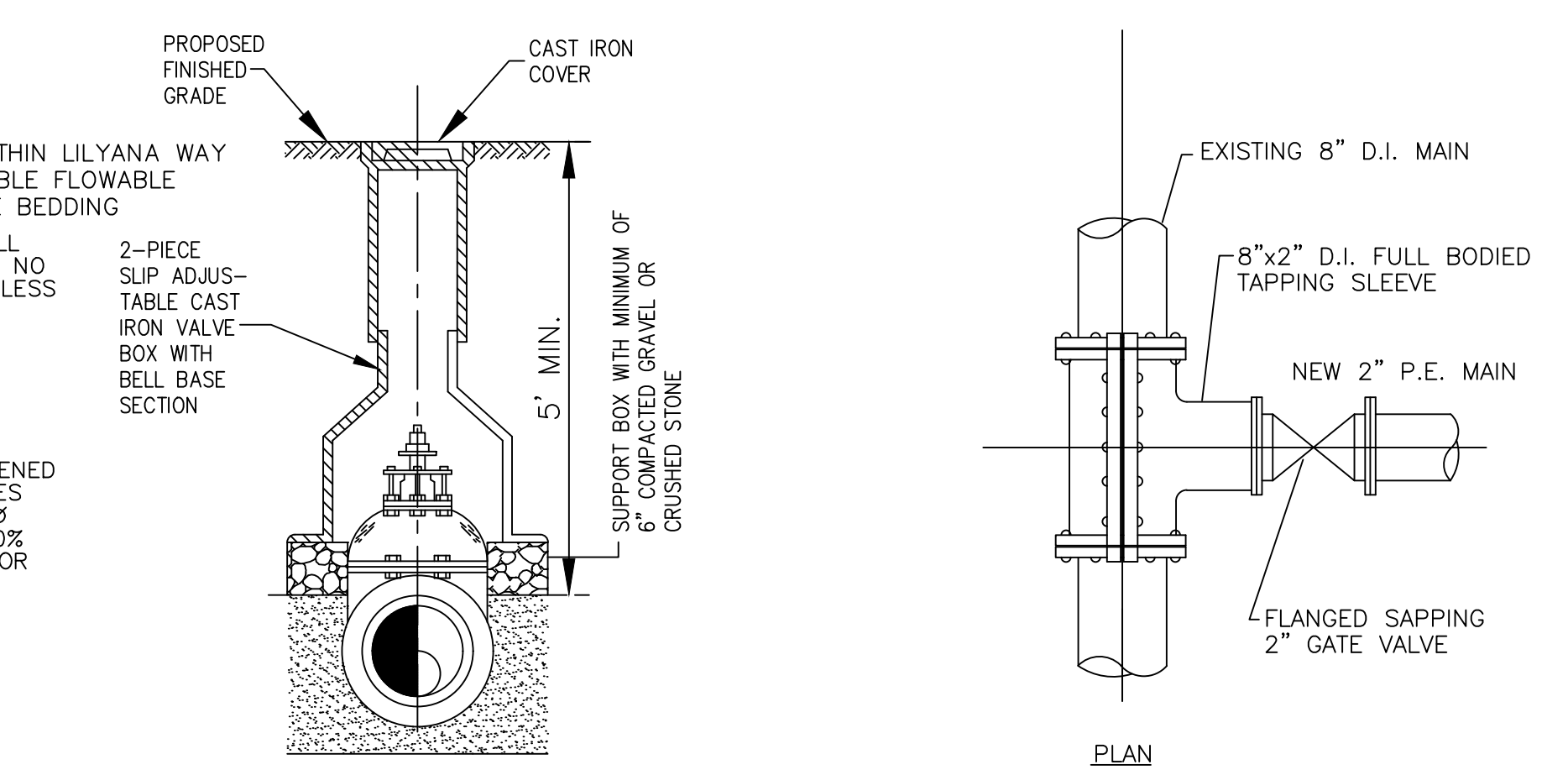
KCWA WATER METER INSTALLATION
KENT COUNTY WATER AUTHORITY
DATE: 02/2020
RESV.DWG



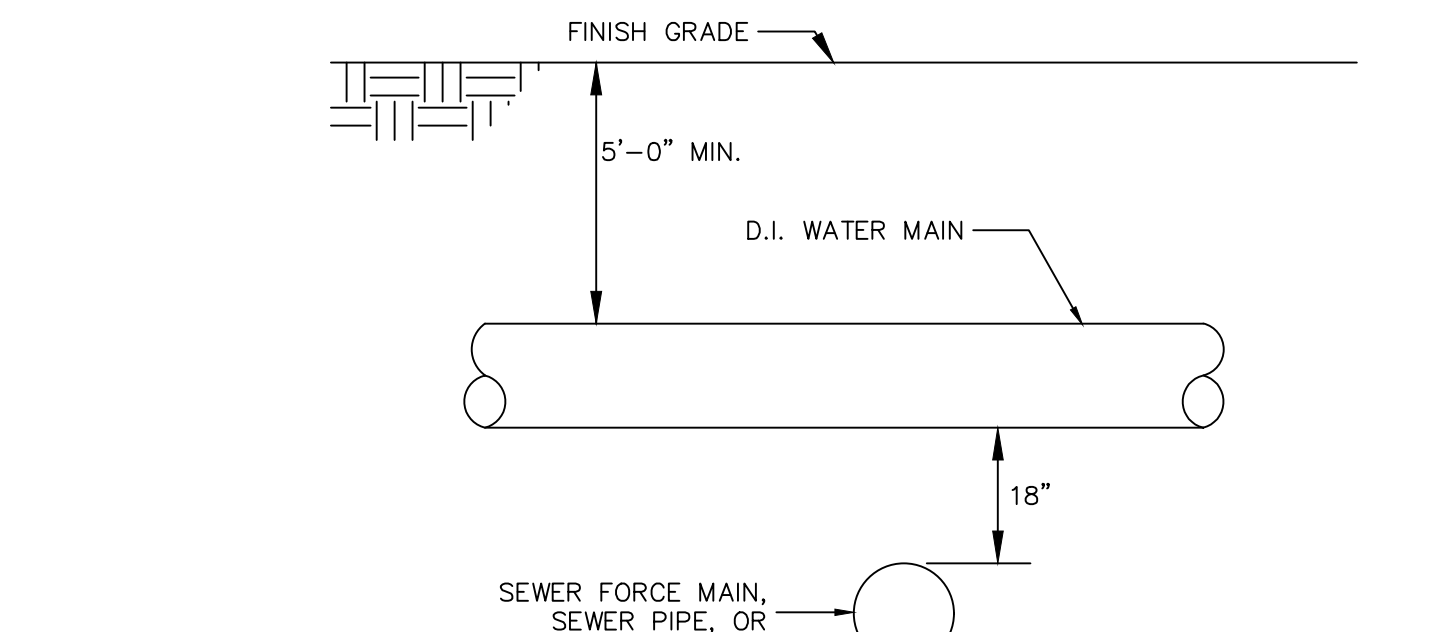
TRENCH INSTALLATION IN ROCK AND SOIL
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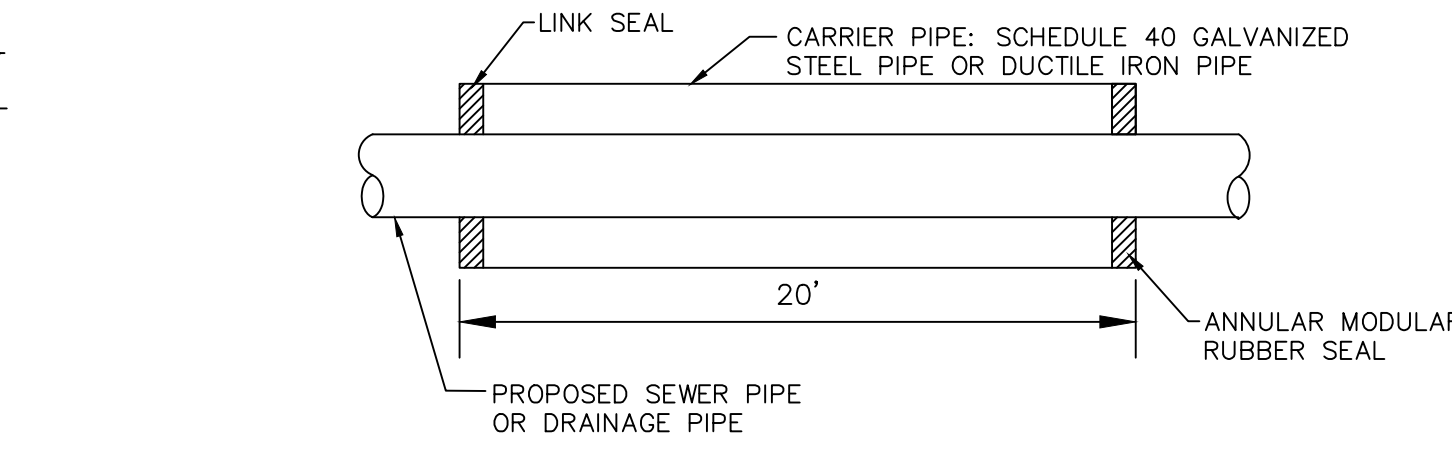
PERMANENT BLOWOFF ASSEMBLY
NOT TO SCALE



VALVE BOX ASSEMBLY DETAIL
NOT TO SCALE

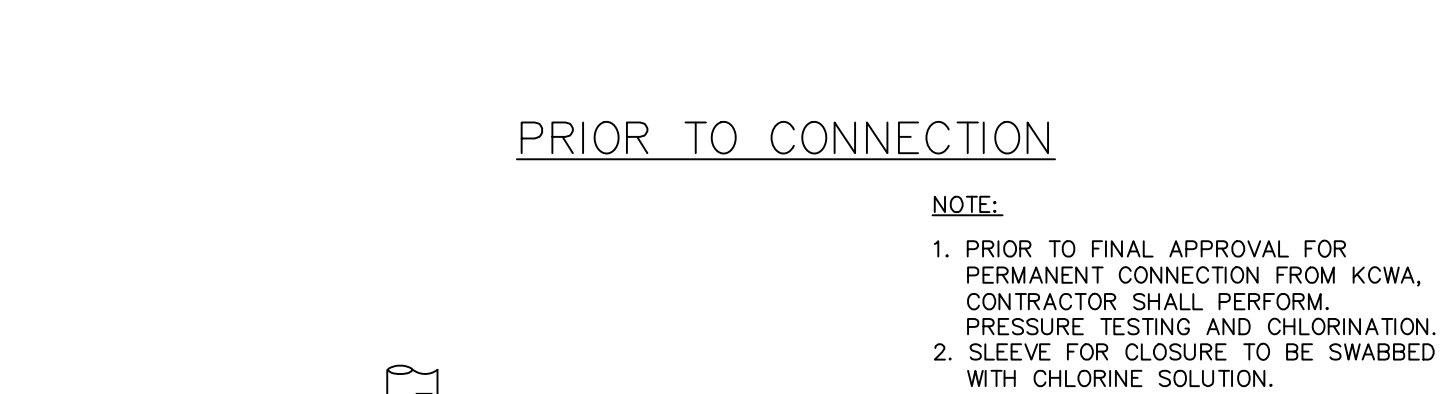
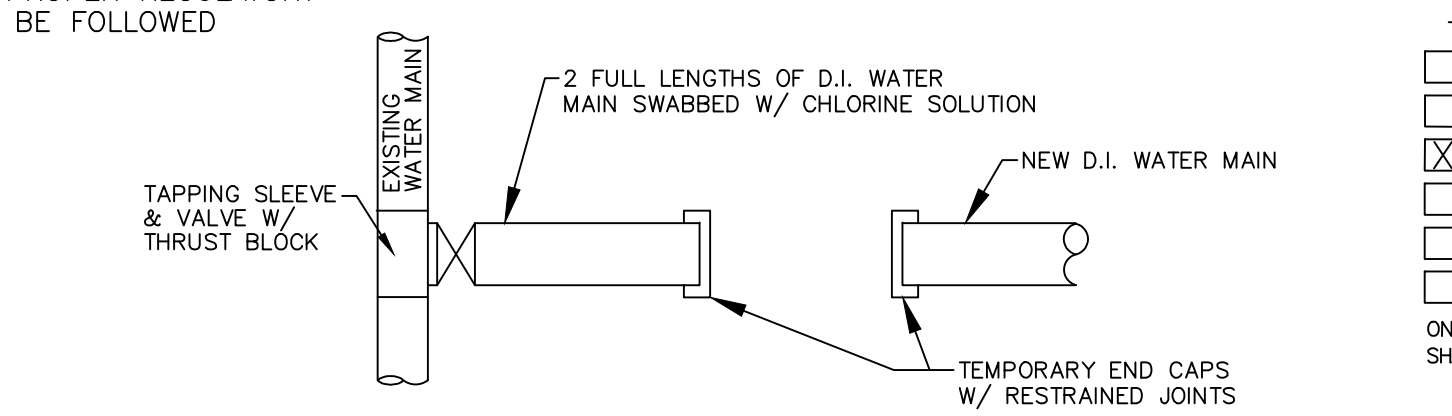


- NOTES:**
1. THE VERTICAL SEPARATION BETWEEN THE WATER MAIN AND THE PROPOSED UTILITY SHALL BE A MINIMUM OF 18 INCHES.
 2. THE HORIZONTAL SEPARATION BETWEEN THE WATER MAIN AND THE PROPOSED UTILITY SHALL BE A MINIMUM OF 10 FEET.
 3. IF 1 OR 2 CANNOT BE MAINTAINED THE PROPOSED UTILITY SHALL BE INSTALLED WITHIN A CARRIER PIPE UPON WRITTEN APPROVAL BY THE KCWA.
 4. SEWER MAIN AND SERVICES ARE NOT ALLOWED TO CROSS OVER THE TOP OF WATER MAIN.
 5. CONCRETE ENCASEMENT IS NOT ALLOWED.

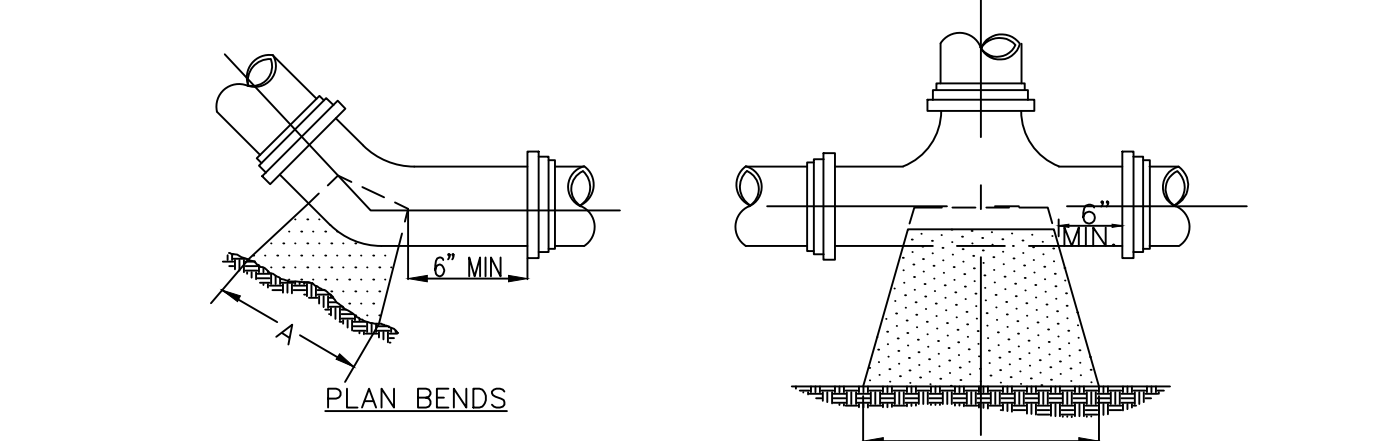
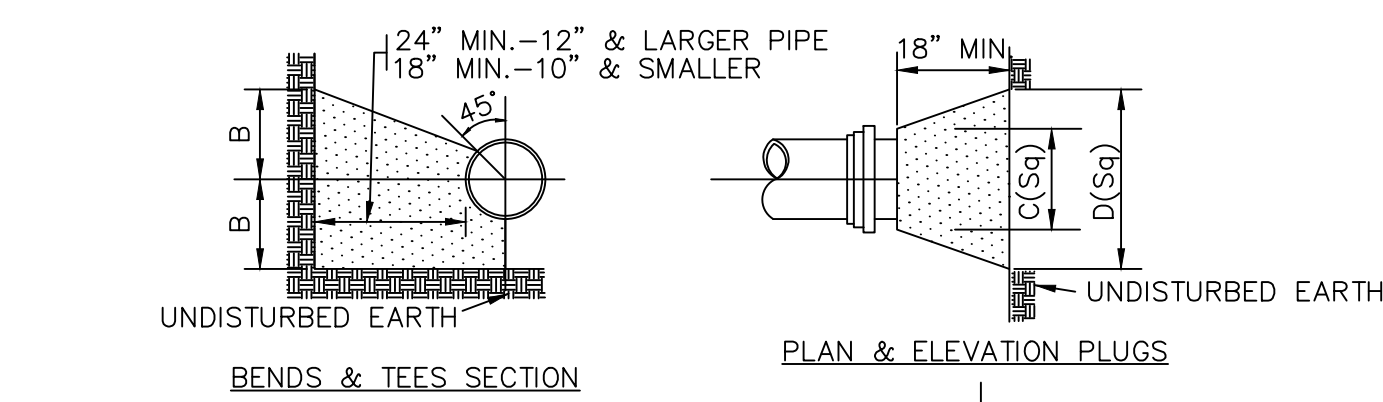


CARRIER PIPE DETAIL
UTILITY SEPARATION
NOT TO SCALE

- INSTALLATION OF TAPPING SLEEVES AND VALVES:**
1. K.C.W.A. SHALL BE CONTACTED AND THEIR PERMISSION GRANTED PRIOR TO TAPPING A "LIVE" LINE. THE REQUIRED PROCEDURES AND TIME TABLE SHALL BE FOLLOWED EXACTLY.
 2. INSTALLATION SHALL BE MADE UNDER PRESSURE AND FLOW SHALL BE MAINTAINED. THE DIAMETERS OF THE TAP SHALL BE NOT LESS THAN 1/4-IN LESS THAN THE INSIDE DIAMETER OF THE BRANCH LINE.
 3. THE ENTIRE OPERATION SHALL BE CONDUCTED BY WORKERS EXPERIENCED IN THE INSTALLATION OF TAPPING SLEEVES AND VALVES. THE TAPPING MACHINE SHALL BE FURNISHED BY THE CONTRACTOR.
 4. DETERMINE THE LOCATION OF THE LINE TO BE TAPPED TO CONFIRM THAT THE PROPOSED LOCATION WILL BE SATISFACTORY AND THAT NOT INTERFERENCE WILL BE ENCOUNTERED SUCH AS JOINTS OR FITTINGS. NO TAP OR SLEEVE WILL BE MADE CLOSER THAN THREE FEET FROM A PIPE JOINT.
 5. TAPPING SLEEVE AND VALVE WITH BOXES SHALL BE SET SQUARELY CENTERED ON THE LINE TO BE TAPPED. ADEQUATE SUPPORT SHALL BE PROVIDED UNDER THE SLEEVE AND VALVE DURING THE TAPPING OPERATION. THRUST BLOCKS OR OTHER PERMANENT RESTRAINTS SHALL BE PROVIDED BEHIND ALL TAPPING SLEEVES. PROPER TAMPING OF SUPPORTING PIPE BEDDING MATERIAL AROUND AND UNDER THE VALVE AND SLEEVE IS MANDATORY FOR BURIED INSTALLATIONS.
 6. AFTER COMPLETING THE TAP, THE VALVE SHALL BE FLUSHED TO ENSURE THAT THE VALVE SEAT IS CLEAN. ALL PROPER REGULATORY PROCEDURES (INCLUDING DISINFECTION) SHALL BE FOLLOWED EXACTLY.



PRIOR TO CONNECTION
CONNECTION OF NEW WATER MAIN TO EXISTING WATER MAIN
NOT TO SCALE



- NOTES:**
- 1.) ALL CONCRETE SHALL BE 4000 P.S.I @ 28 DAYS.
 - 2.) CONCRETE THRUST BLOCKS SHALL BEAR AGAINST UNDISTURBED EARTH.
 - 3.) FORMS TO BE USED AS NECESSARY.
 - 4.) ALL BOLTS AND NUTS TO BE PROTECTED FROM CONCRETE AND EASILY ACCESSIBLE WHEN THRUST BLOCK INSTALLED.
 - 5.) REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF R.I. SHALL VERIFY ALL CALCULATIONS DURING DESIGN TO MEET CONDITIONS OF PROJECT AND KCWA REQUIREMENTS.

SIZE	TEES		PLUGS		90° BEND		45° BEND		22½° BEND		1¼" BEND	
	A	B	C	D	A	B	A	B	A	B	A	B
6"	20"	10"	10"	21"	24"	12"	18"	9"	13"	7"	9"	6"
8"	26"	13"	12"	26"	32"	16"	24"	12"	17"	9"	12"	6"
10"	34"	17"	14"	34"	40"	20"	30"	15"	22"	11"	15"	6"
12"	41"	20"	16"	41"	48"	24"	35"	18"	25"	13"	18"	9"
16"	54"	27"	20"	54"	64"	32"	47"	23"	34"	17"	24"	12"

THRUST BLOCK
NOT TO SCALE

STREET INDEX
BRIARWOOD ROAD (TOWN, PUBLIC)
NEW LONDON AVENUE (STATE, PUBLIC)

DRAWING ISSUE:

- CONCEPT
- CUSTOMER APPROVAL
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- CONSTRUCTION
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- OTHER:

ONLY PLANS ISSUED FOR CONSTRUCTION SHALL BE USED FOR CONSTRUCTION

OWNERS:
LOT 2006 PRESERVATION DEVELOPMENT, LLC
29 SOUTH VIEW TERRACE
CRANSTON, RI 02920-1417

APPLICANT:
MARK CULLION
875 PHENIX AVENUE
CRANSTON, RI 02920
401.783.4650

Thomas J. Principe, III
No. 9107
REGISTERED PROFESSIONAL ENGINEER

PRINCIPE COMPANY, INC.
ENGINEERING DIVISION
27 SAKONNET RIDGE DR
TIVERTON, RI 02878
401.265.1090
WWW.PRINCIPEENGINEERING.COM

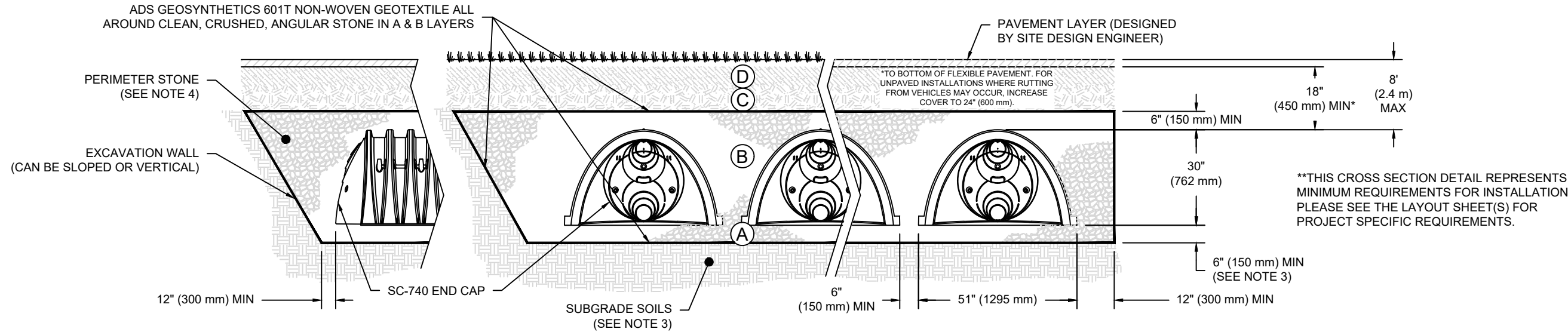
PRELIMINARY PLAN - MINOR SUBDIVISION
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AP 18-3 LOT 2006
NEW LONDON AVENUE
in
CRANSTON, RHODE ISLAND

SCALE: AS NOTED | SHEET NO: 9 OF 10
DRAWN BY: NEC | DESIGN BY: SJL | CHECKED BY: TJP
DATE: 07/22/25 | PROJECT NO.: LD-2022-16

ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M145 ¹ A-1, A-2.4, A-3 OR AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL-GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{2,3}

PLEASE NOTE:
 1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
 2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) MAX LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
 3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
 4. ONCE LAYER 'C' IS PLACED, ANY SOL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.
 5. WHERE RECYCLED CONCRETE AGGREGATE IS USED IN LAYERS 'A' OR 'B' THE MATERIAL SHOULD ALSO MEET THE ACCEPTABILITY CRITERIA OUTLINED IN TECHNICAL NOTE 6.20 "RECYCLED CONCRETE STRUCTURAL BACKFILL".

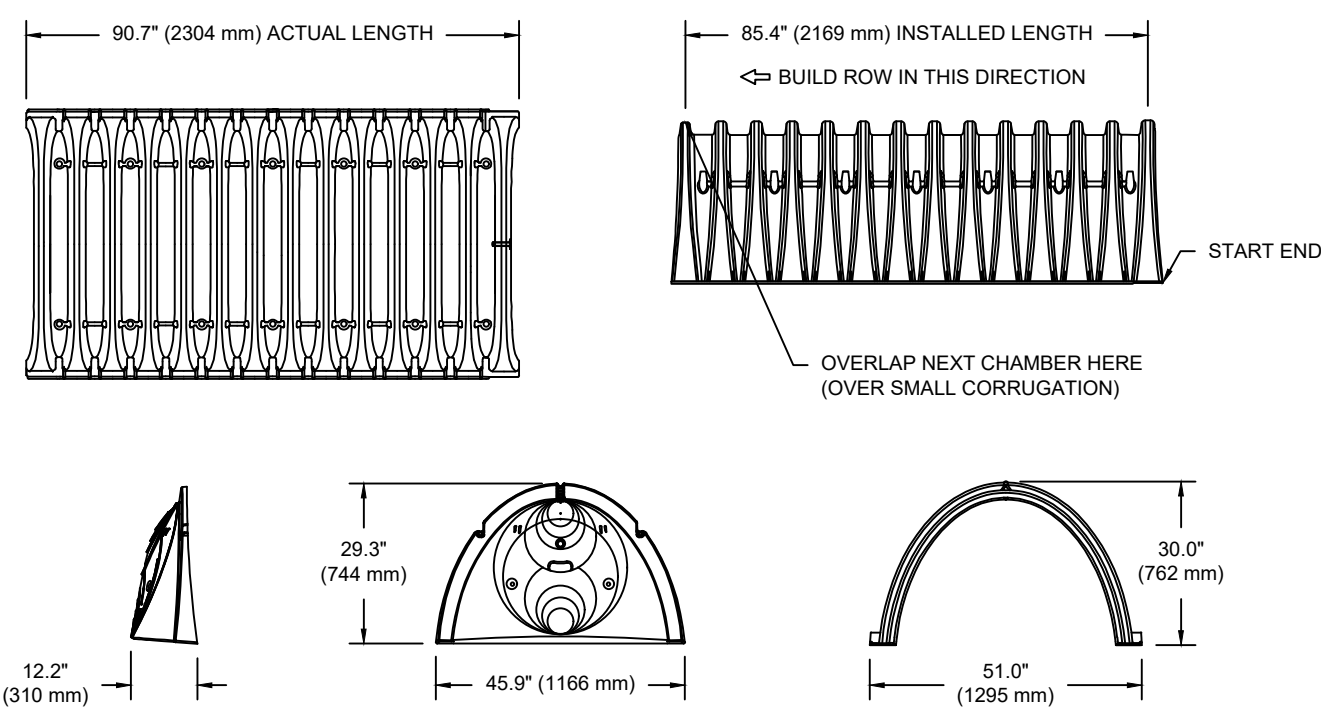


NOTES:

- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS. REFERENCE STORMTECH DESIGN MANUAL FOR BEARING CAPACITY GUIDANCE.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.8 OF ASTM F2418 SHALL BE GREATER THAN OR EQUAL TO 500 LBS/FT². AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.

SC-740 CROSS SECTION DETAIL

SC-740 TECHNICAL SPECIFICATION



NOMINAL CHAMBER SPECIFICATIONS	51.0" X 30.0" X 85.4"	(1295 mm X 762 mm X 2169 mm)
SIZE (W X H X INSTALLED LENGTH)	45.9 CUBIC FEET	(1.30 m ³)
CHAMBER STORAGE	74.9 CUBIC FEET	(2.12 m ³)
MINIMUM INSTALLED STORAGE*	75.0 lbs.	(33.8 kg)
WEIGHT		

NOMINAL END CAP SPECIFICATIONS	45.9" X 29.3" X 9.6"	(1166 mm X 744 mm X 244 mm)
SIZE (W X H X INSTALLED LENGTH)	2.6 CUBIC FEET	(0.07 m ³)
END CAP STORAGE	13.5 CUBIC FEET	(0.38 m ³)
MINIMUM INSTALLED STORAGE**	11.7 lbs.	(5.3 kg)
WEIGHT		

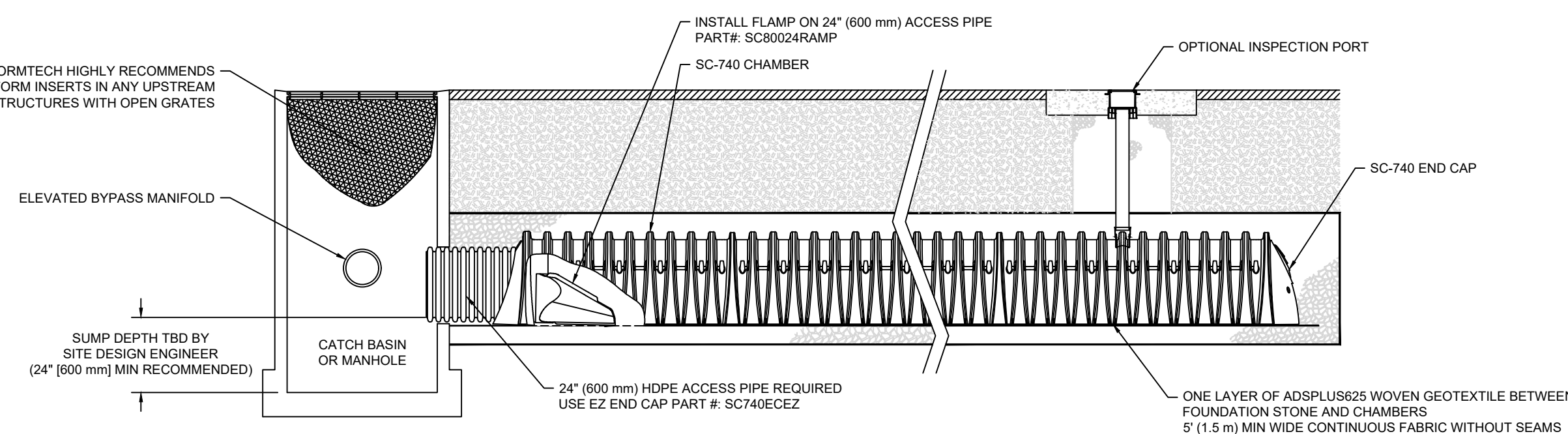
* ASSUMES 6" (152 mm) STONE ABOVE, BELOW, AND BETWEEN CHAMBERS
 ** ASSUMES 6" (152 mm) STONE ABOVE AND BELOW END CAPS, 6" (152 mm) BETWEEN ROWS, 12" (305 mm) BEYOND END CAPS

PART #	STUB	B	C
SC740EP6BTC	6" (150 mm)	18.5" (470 mm)	0.5" (13 mm)
SC740EP6BPC	6" (150 mm)	16.5" (419 mm)	---
SC740EP8BTC	8" (200 mm)	16.5" (419 mm)	0.6" (15 mm)
SC740EP8BPC	8" (200 mm)	14.5" (368 mm)	---
SC740EP10BTC	10" (250 mm)	12.5" (318 mm)	0.7" (18 mm)
SC740EP10BPC	10" (250 mm)	12.5" (318 mm)	---
SC740EP12BTC	12" (300 mm)	9.0" (229 mm)	1.2" (30 mm)
SC740EP12BPC	12" (300 mm)	9.0" (229 mm)	---
SC740EP15BTC	15" (375 mm)	5.0" (127 mm)	1.3" (33 mm)
SC740EP15BPC	15" (375 mm)	5.0" (127 mm)	---
SC740EP18BTC	18" (450 mm)	---	1.6" (41 mm)
SC740EP18BPC	18" (450 mm)	---	---
SC740ECEZ*	24" (600 mm)	---	0.1" (3 mm)

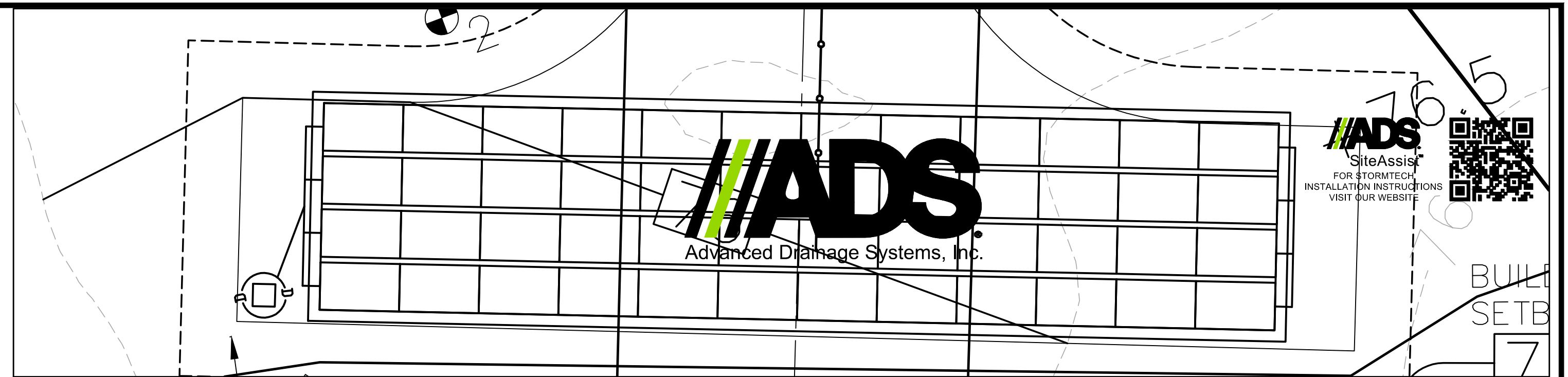
ALL STUBS, EXCEPT FOR THE SC740ECEZ ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION CONTACT STORMTECH AT 1-888-892-2694.

* FOR THE SC740ECEZ THE 24" (600 mm) STUB LIES BELOW THE BOTTOM OF THE END CAP APPROXIMATELY 1.75" (44 mm). BACKFILL MATERIAL SHOULD BE REMOVED FROM BELOW THE N-12 STUB SO THAT THE FITTING SITS LEVEL.

NOTE: ALL DIMENSIONS ARE NOMINAL. PRE-CORED END CAPS END WITH "PC"



SC-740 ISOLATOR ROW PLUS DETAIL



SC-740 STORMTECH CHAMBER SPECIFICATIONS

- CHAMBERS SHALL BE STORMTECH SC-740.
- CHAMBERS SHALL BE ARCH-SHAPED AND SHALL BE MANUFACTURED FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE COPOLYMERS.
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORTS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
- CHAMBERS SHALL BE DESIGNED, TESTED AND ALLOWABLE LOAD CONFIGURATIONS DETERMINED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS". LOAD CONFIGURATIONS SHALL INCLUDE: 1) INSTANTANEOUS (<1 MIN) AASHTO DESIGN TRUCK LIVE LOAD ON MINIMUM COVER 2) MAXIMUM PERMANENT (75-YR) COVER LOAD AND 3) ALLOWABLE COVER WITH PARKED (1-WEEK) AASHTO DESIGN TRUCK.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT SHALL BE GREATER THAN OR EQUAL TO 500 LBS/FT². AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.
- ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. UPON REQUEST BY THE SITE DESIGN ENGINEER OR OWNER, THE CHAMBER MANUFACTURER SHALL SUBMIT A STRUCTURAL EVALUATION FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE AS FOLLOWS:
 - THE STRUCTURAL EVALUATION SHALL BE SEALED BY A REGISTERED PROFESSIONAL ENGINEER.
 - THE STRUCTURAL EVALUATION SHALL DEMONSTRATE THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.95 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD. THE MINIMUM REQUIRED BY ASTM F2787 AND BY SECTIONS 3 AND 12.12 OF THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS FOR THERMOPLASTIC PIPE.
 - THE TEST DERIVED CREEP MODULUS AS SPECIFIED IN ASTM F2418 SHALL BE USED FOR PERMANENT DEAD LOAD DESIGN EXCEPT THAT IT SHALL BE THE 75-YEAR MODULUS USED FOR DESIGN.
- CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.
- MANIFOLD SIZE TO BE DETERMINED BY SITE DESIGN ENGINEER. SEE TECHNICAL NOTE 6.32 FOR MANIFOLD SIZING GUIDANCE. DUE TO THE ADAPTATION OF THIS CHAMBER SYSTEM TO SPECIFIC SITE AND DESIGN CONSTRAINTS, IT MAY BE NECESSARY TO CUT AND COUPLE ADDITIONAL PIPE TO STANDARD MANIFOLD COMPONENTS IN THE FIELD.
- ADS DOES NOT DESIGN OR PROVIDE MEMBRANE LINER SYSTEMS. TO MINIMIZE THE LEAKAGE POTENTIAL OF LINER SYSTEMS, THE MEMBRANE LINER SYSTEM SHOULD BE DESIGNED BY A KNOWLEDGEABLE GEOTEXTILE PROFESSIONAL AND INSTALLED BY A QUALIFIED CONTRACTOR.

IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF THE SC-740 SYSTEM

- STORMTECH SC-740 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
- STORMTECH SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/SC-800/DC-780 CONSTRUCTION GUIDE".
- CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR AN EXCAVATOR SITUATED OVER THE CHAMBERS. STORMTECH RECOMMENDS 3 BACKFILL METHODS:
 - STONESHOOTER LOCATED OFF THE CHAMBER BED.
 - BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
 - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
- THE FOUNDATION STONE SHALL BE LEVELED AND COMPACTED PRIOR TO PLACING CHAMBERS.
- JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
- MAINTAIN MINIMUM 6" (150 mm) SPACING BETWEEN THE CHAMBER ROWS.
- EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE OR RECYCLED CONCRETE. AASHTO M43 #3, 357, 4, 467, 5, 56, OR 57.
- THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
- ADS RECOMMENDS THE USE OF "FLEXSTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.

NOTES FOR CONSTRUCTION EQUIPMENT

- STORMTECH SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/SC-800/DC-780 CONSTRUCTION GUIDE".
- THE USE OF CONSTRUCTION EQUIPMENT OVER SC-740 CHAMBERS IS LIMITED:
 - NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
 - NO RUBBER TREADED LOADERS, DUMP TRUCKS, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/SC-800/DC-780 CONSTRUCTION GUIDE".
 - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH SC-310/SC-740/SC-800/DC-780 CONSTRUCTION GUIDE".
- FULL 36" (900 mm) OF STABILIZED COVER MATERIAL OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.

USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO THE CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.

CONTACT STORMTECH AT 1-800-821-6710 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.

INSPECTION & MAINTENANCE

- STEP 1) INSPECT ISOLATOR ROW PLUS FOR SEDIMENT
- INSPECTION PORTS (IF PRESENT)
 - REMOVE/OPEN LID ON NYLOPLAST INLINE DRAIN
 - REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
 - USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
 - LOWER A CAMERA INTO ISOLATOR ROW PLUS FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
 - IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2; IF NOT, PROCEED TO STEP 3.
 - ALL ISOLATOR PLUS ROWS
 - REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW PLUS
 - USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW PLUS THROUGH OUTLET PIPE
 - MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
 - FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
 - IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2; IF NOT, PROCEED TO STEP 3.
- STEP 2) CLEAN OUT ISOLATOR ROW PLUS USING THE JETVAC PROCESS
- A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45° (1.1 m) OR MORE IS PREFERRED
 - APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
 - VACUUM STRUCTURE SUMP AS REQUIRED
- STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS. RECORD OBSERVATIONS AND ACTIONS.
- STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

NOTES

- INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH-WATER ELEVATIONS.
- CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.

OWNERS:

LOT 2006:
 PRESERVATION
 DEVELOPMENT, LLC
 29 SOUTH VIEW TERRACE
 CRANSTON, RI 02920-1417

APPLICANT:

MARK CULLION
 875 PHENIX AVENUE
 CRANSTON, RI 02920
 401.783.4650

DETAILS - STORMWATER

Thomas J. Principe, III
 No. 9107
 REGISTERED PROFESSIONAL ENGINEER

PRINCIPE COMPANY, INC.
 ENGINEERING DIVISION
 27 SAKONNET RIDGE DR
 TIVERTON, RI 02878
 401.265.1090
 WWW.PRINCIPEENGINEERING.COM

REVISIONS

No.	DATE	DRWN	CHKD

PRELIMINARY PLAN -
 MINOR SUBDIVISION
 for
 "CULLION HOMES"
 AP 18-3 LOT 2006
 NEW LONDON AVENUE
 in
 CRANSTON, RHODE ISLAND

SCALE: AS NOTED SHEET NO: 10 OF 10
 DRAWN BY: NEC DESIGN BY: S.J.L CHECKED BY: T.J.P
 DATE: 07/22/25 PROJECT NO.: LD-2022-16

DRAWING ISSUE:

- CONCEPT
 - CUSTOMER APPROVAL
 - PERMITTING
 - CONSTRUCTION
 - AS-BUILT
 - OTHER:
- ONLY PLANS ISSUED FOR CONSTRUCTION SHALL BE USED FOR CONSTRUCTION

C:\Users\Seth Lemoine\Principle Engineering Dropbox\Land Development\2022\LD-2022-16_New London Avenue_Cranston_Mark Cullion\Current Working Drawings and PDFs\LD

**Proposed
Minor Subdivision
Preliminary Plan**

In Accordance with the City of Cranston
Zoning Ordinance and Land Development and Subdivision Regulations

PROJECT NARRATIVE

To Accompany Preliminary Plan Application for Minor Subdivision
Assessor's Plat 18-3, Lot 2006
Cranston, Rhode Island

Applicant

Mark Cullion

Proposed
Minor Subdivision
Preliminary Plan Application
May 14, 2025

Development Team

Owner/Applicant

Preservation Development, LLC, c/o Mark Cullion
29 South View Terrace, Cranston, RI 02920

Legal Counsel

Mancini Carter, PC

John O. Mancini, Esq.

ManciniCarter, PC, 56 Pine Street, 3rd Floor, Providence, RI 02903

jmancini@mancinycarter.com

Engineering/Stormwater Management

Principe Company, Inc., Engineering Division

27 Sakonnet Ridge Drive, Tiverton, RI 02878

Development Introduction

The Applicant, Mark Cullion (the “Applicant”), proposes to subdivide the property identified as Assessor’s Plat 18-3, Lot 1006 (the “Property”), into two buildable lots (the “Project”).

The Property is currently zoned A-8, which the City of Cranston (the “City”) Zoning Ordinance describes as permitting “Single-family dwellings on lots of minimum areas of eight thousand (8,000) square feet.” *See* City Zoning Ordinance Section 17.08.010. The Property is currently vacant. The Applicant desires to make beneficial use of the Property, constructing two single-family residences thereon.

The Project will feature an extension of an existing right of way off Lilyana Way, resulting in a cul-de-sac providing access to the two new lots. Proposed Lot 2006-1 will feature a 34’ x 34’ two-story dwelling, with an attached 24’ x 24’ garage. Resulting in a total lot coverage of 14.1%. Proposed Lot 2006-2 will feature a 28’ x 42’ two-story dwelling with an attached 24’ x 24’ garage. Resulting in a total coverage of 19.5%. The lots will be 16,610 sq. ft. and 12,606 sq. ft. respectively, greatly exceeding the required 8,000 sq. ft. under the City’s Ordinance.

Under the City’s Schedule of Intensity Regulations, the A-8 zone has a minimum lot width of 80 feet. *See* City Ordinance, Schedule of Intensity Regulations. Because the Project splits the lots through the cul-de-sac design, they each have approximately 104.59 feet of frontage upon the right of way. Accordingly, no relief from the City’s Ordinance is required.

To support the Project, the Applicant intends to present witnesses to discuss the engineering plans submitted with the Application materials.

Conclusion

The Applicant asserts that the Project is necessary to effectuate beneficial use of the Property in accordance with the City’s goal of maintaining the A-8 zone. Moreover, the Project will increase in the City’s housing stock.

Accordingly, the Applicant respectfully requests that the City grant the proposed minor subdivision.

INFORMATION REQUEST FORM
Turnaround Time is Three (3) Weeks

NAME: Raffaello R. Manzo, Esq. DATE: May 16, 2025

PHONE NUMBER: (401) 343-7000

MAILING ADDRESS: 56 Pine Street, 3rd Floor, Providence, RI 02903

LOCATION INQUIRING ABOUT:

Street: _____

Lot/Plat/Pole #: Assessor's Plat 18-3, Lot 2006 City/Town: Cranston

Adjacent Streets: Lilyana Way

Map Location (please provide map) See enclosed

PLEASE DESCRIBE BELOW IN DETAIL ALL INFORMATION REQUESTED:
(Note: provide as much amplifying information as possible)

The minor subdivision applicant, Preservation Development LLC, requires a written statement
of water availability for the Property in order to proceed with preliminary plan approval.

Kent County Water Authority, 35 Technology Way, West Greenwich, RI 02817
Phone: 401-821-9300 Fax: 401-823-4810

**We do not accept faxed information sheets. Please mail to the above address or you may bring
your request to our offices located at 35 Technology Way, West Greenwich, RI 02817**



ORIGINAL



**Certificate of Municipal Liens
Under 44-7-11 of the
General Laws of Rhode Island**
Cranston City Hall
Tax Collections Dept
869 Park Avenue

CERTIFICATE NUMBER: 2024-1442258
ISSUED: 16-Apr-2025

**TAX RATE SUMMARY
FISCAL YEAR 2024**

Residential:	13.61
Open Space:	13.61
Commercial:	20.42
Industrial:	20.42
Total Value:	\$13,400

I certify from available information that all taxes, assessments and charges now payable that constitute liens as of the date of this certificate on the parcel of real estate specified in your application are listed below.

Mancini Carter PC
c/o John O Mancini, Esq
56 PINE STREET
3RD FLOOR
PROVIDENCE RI 02903

Parcel Id: 018-2006-000
Location: SOUTHVIEW TERRACE
Acreage: .60999
Legal Reference: 6140-65
Assessed Owner(s): PRESERVATION DEVELOPMENT LLC
Current Owner: PRESERVATION DEVELOPMENT LLC

	2024 Bill #1718497501	2023 Bill #1718497501	2022 Bill #1718497501	Prior to 2022				
ASSESSMENTS								
Gross Tax	\$182.37	\$173.88	\$170.29	\$1,362.34				
Net Tax	\$182.37	\$173.88	\$170.29	\$1,362.34				
Interest			\$5.11	\$85.63				
Total Net	\$182.37	\$173.88	\$175.40	\$1,447.97				
PAYMENTS								
Tax Payments	\$182.37	\$173.88	\$170.29	\$1,362.34				
Interest			\$5.11	\$85.63				
OTHER								
Net Q1 RE Tax Due: 15-Jul-2024	\$45.59	\$43.47	\$42.57	\$340.56				
Net Q2 RE Tax Due: 15-Oct-2024	\$45.59	\$43.47	\$42.57	\$340.56				
Net Q3 RE Tax Due: 15-Jan-2025	\$45.59	\$43.47	\$42.57	\$340.56				
Net Q4 RE Tax Due: 15-Apr-2025	\$45.60	\$43.47	\$42.58	\$340.66				
UNPAID TAXES								
TOTAL UNPAID TAXES (PER DIEM)	\$0.00	\$0.00	\$0.00					
PAYMENT HISTORY								
	Date	Amount	Date	Amount	Date	Amount	Date	Amount
	8/26/2024	182.37	11/22/2023	173.88	7/12/2023	47.69	3/16/2022	82.80
	-	-	-	-	3/15/2023	85.14	9/27/2021	41.40
	-	-	-	-	8/25/2022	42.57	8/16/2021	41.40
	-	-	-	-	-	-	3/25/2021	50.39
	-	-	-	-	-	-	12/30/2020	50.36
	-	-	-	-	-	-	10/13/2020	100.72
	-	-	-	-	-	-	6/2/2020	225.64
	-	-	-	-	-	-	2/27/2019	212.57
	-	-	-	-	-	-	2/16/2019	60.59
	-	-	-	-	-	-	2/6/2018	50.46

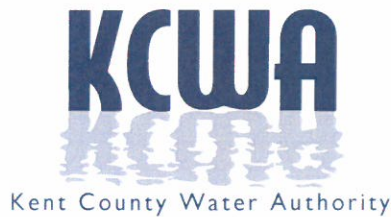
I HAVE NO KNOWLEDGE OF ANY OTHER LIENS OUTSTANDING AS OF THIS DATE: 4/16/2025

OTHER UNPAID BALANCES

DESCRIPTION	LAST READ	ACCOUNT #	BALANCE DUE	NOTES
Note:				WATER USE SEE PROVIDENCE

This is to certify that the above is true and correct. Said Certification is given in accordance with 44-7-11 of the General Laws of Rhode Island 1956 as of this day 16-Apr-2025

City Treasurer
City of Cranston



June 2, 2025

Mr. Raffaello Manzo, Esq.
Mancini Carter
56 Pine Street, 3rd Floor
Providence, RI 02903

Re: Water Availability – Assessor’s Plat 18-3, Lot 2006, Cranston, RI

Dear Mr. Manzo:

In response to your inquiry dated May 16, 2025, please be advised that there is an 8-inch ductile iron water main located along Lilyana Way, which runs in front of the property referenced in your request. Water service can be provided, contingent upon the project’s ability to meet applicable service demand requirements.

To proceed, a complete design application—as outlined in Part III of the Kent County Water Authority (KCWA) Rules and Regulations—is required. This application must include water demand calculations and plans for the proposed redevelopment of the building. If the project includes ten (10) or more units, a computerized hydraulic model may also be required.

Please contact Nicole Campagnone at our office to review the specific information needed for this model.

The KCWA Rules and Regulations are available online at www.kentcountywater.org.

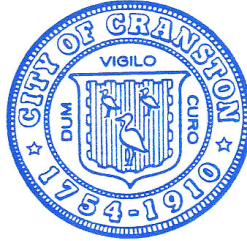
Should you have any questions regarding this matter, please feel free to contact our office.

Very truly yours,
Kent County Water Authority

A handwritten signature in black ink, appearing to read "Gary Glenn", is written over the typed name.

Gary Glenn
Senior Manager, Construction

Kenneth J. Hopkins
Mayor



Justin Mateus P.E.
Acting Director of Public Works

**DEPARTMENT OF PUBLIC WORKS
CITY HALL, ROOM 109
869 PARK AVENUE
CRANSTON, RHODE ISLAND 02910**

September 4, 2024

Preservation Development, LLC
29 South View Terrace
Cranston, RI 02920

**Re: Sewer Availability Request
Minor Subdivision – Cullion Homes
Bateman Avenue, Cranston, RI
(Plat 18-3 / Lots 2006)**

Dear Property Owner:

The City of Cranston has reviewed the correspondence request, dated August 23, 2024 for sewer availability for the above referenced project. This letter is to inform you that sewer is available to be connected to a proposed gravity sewer main within a roadway currently under construction, Lilyana Way.

Please find the enclosed Veolia Water, NA Availability of Service Letter, dated August 26, 2024 for your reference. Please note this is not an authorization letter for your sewer. Sewer design review is required by the City and Veolia Water in accordance with Annex A Design of Sewers.

If you have any questions, feel free to contact me at 401-780-3173.

Sincerely,

Edward Tally
Environmental Program Manager

CC: Justin Mateus, P.E., Acting Director of Public Works;
Jason Pezzullo, Cranston Planning
John Arruda, Veolia Water
James Thomas, Veolia Water
Earl Salisbury, Veolia Water



VEOLIA WATER NORTH AMERICA
140 Pettaconsett Avenue
Cranston, RI 02920

Tel. : 401-467-7210
Fax : 401-781-5260
www.veoliawaterna.com

August 26, 2024

Mr. Edward Tally
Environmental Program Manager
City of Cranston
869 Park Avenue
Cranston, Rhode Island 02910

**Re: Availability of Sewer Service Letter
"Cullion Homes", Cranston
Assessor's Plat 18-3, Lot 2006**

Dear Mr. Tally,

Veolia Water, Cranston, Rhode Island (VW) has received your correspondence request on August 26, 2024 for an availability of sewer service for the above referenced address. The proposed site is located within a proposed 16 Lot Major Subdivision referred to as "Briarwood Estates" on the corner of Lilianna Way and unnamed road referred to "Cullion Homes" Minor Subdivision in Cranston and it will be for two residential homes which was prepared by Thomas J. Principe, III from Principe Company, Inc..

Our records indicate that a 8" PVC sewer main will be available within Lilianna Way after installation of Briarwood Estates and can be tapped to connect and extend an 8" PVC sewer line and two sewer laterals for lots 13 and 14 as shown in the depicted plans of reference and is adjoining to the Meshanticut Valley Part 6 Sheet 33 as-built. (See Attached).

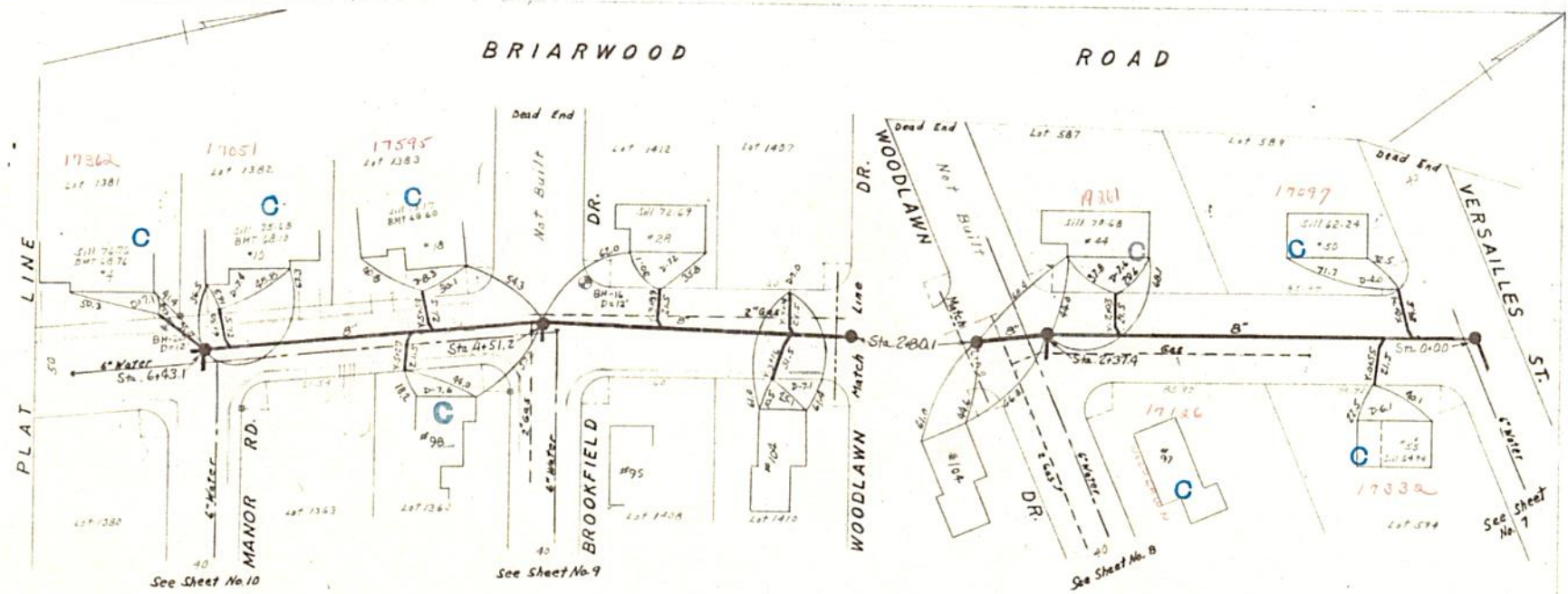
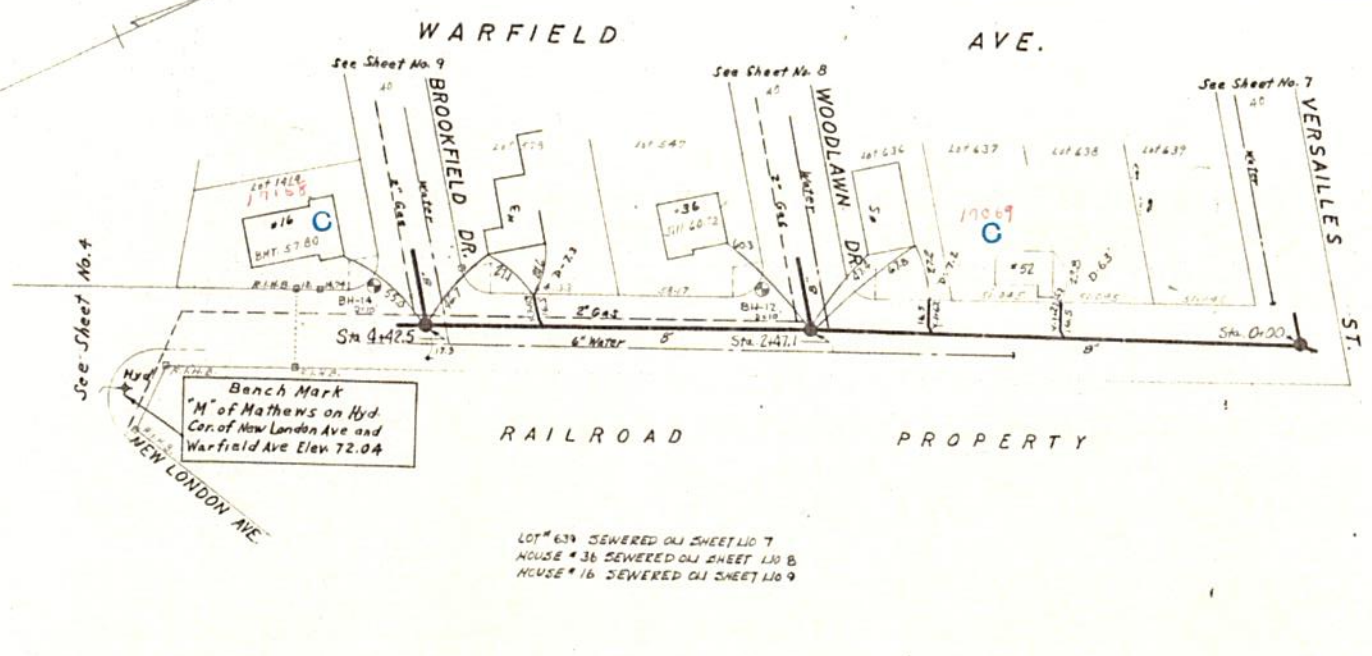
Please note that this is not an approval of a sewer service connection. Any new connection requirement shall be through the City of Cranston's approval process. For this Minor Subdivision, it will require a \$500 review fee payable to Veolia Water in addition to inspection cost for the newly proposed sewer main and manhole installation. The above referenced as-builts do not indicate a sewer lateral exists. If a new sewer lateral connection is required, a "New Lateral Tie-In Connection" form will need to be completed and a check payable to Veolia Water for \$380 for an inspection prior to scheduling of work.

Should you have any questions, you can reach me at (401) 824-0064.

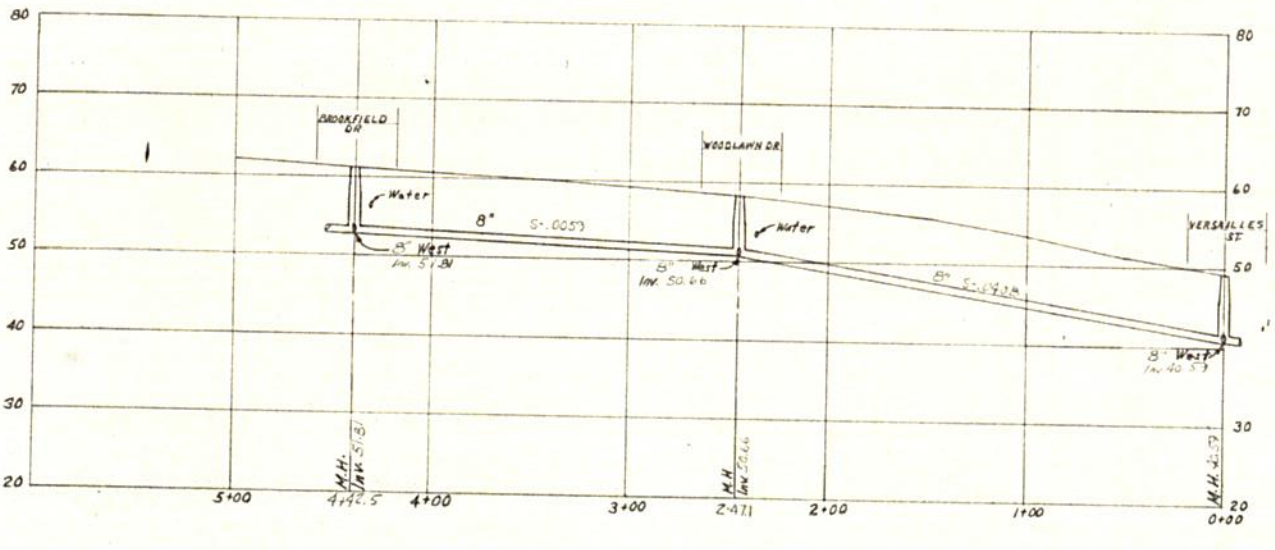
Sincerely,
Veolia Water

John C. Arruda Jr.
Civil Engineer - Underground Asset Manager

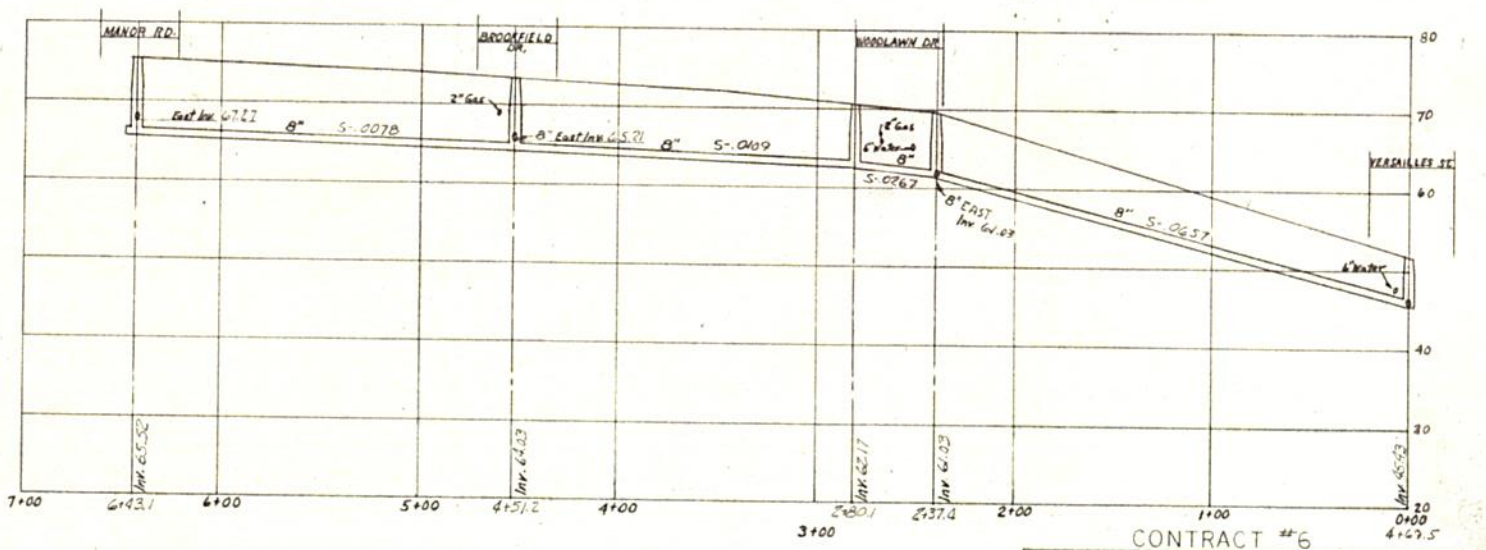
xc: Earl Salisbury, Veolia Project Manager
James Thomas, Veolia Collections Systems Supervisor



PLAN
SCALE: 1" = 40'



PROFILE
SCALE: HOR 1" = 40'
VERT 1" = 10'



RECORD PLAN - AS BUILT

REV	DATE	DESCRIPTION	MADE BY	CHK BY	APPD BY
1		CONTRACT REVISION	JEN ZAINO	JMM	WHP ENT

CONTRACT #6

CITY OF CRANSTON, RHODE ISLAND
PUBLIC WORKS DEPARTMENT, SEWER DIVISION
MESHANTICUT VALLEY SEWER SYSTEM PART #6
SEWERS

WARFIELD AVENUE STA. 0+00 TO STA. 4+42.5
BRIARWOOD ROAD STA. 0+00 TO STA. 6+431

SCALE: AS NOTED
ENGINEERING DIV. CITY OF CRANSTON, R.I.

DES. F. D'A. DATE FILE NO. PLAN NO. APPROVED

MESH 6 33

CONTRACT DRAWING SHEET NO. 8 OF 14
MESH 6 33



Incorporated 1910

Minor Subdivision Checklist

Name of proposed subdivision/development:
Cullion Homes

Preparer: c/o John O. Mancini, Esq.

Phone Number: (401) 343-7000

Email: j Mancini@mancinicar.com

Date of Application: May 11, 2025

Plat and Lot Number(s) of the land being subdivided/developed: Plat 18-3, Lot 2006

Date Received / Initials

INSTRUCTIONS

Digital copies of all submissions are required. Email initial submission for review to planning@cranstonri.org prior to printing documents.

All plans required by this checklist shall show the following information (as applicable). The shaded boxes in the checklist indicate an item is **not** required at a particular stage. If any checklist items are marked "not applicable (NA)" please provide a brief explanation as to why the item is not applicable in the space provided at the end of each section of the checklist.

For items required at the pre-application stage of review, conceptual design and approximate locations of required checklist items is generally acceptable. For items required at the preliminary and final stage of review, engineered design and proposed final locations of required checklist items shall be provided, with certification by registered Professional Engineer or Land Surveyor where required. The City Planning Department can provide further guidance on specific checklist items. See Section V of the Subdivision Regulations for more details.

*Review Codes are for administrative use: **Item Confirmed – Yes (Y), No (N), Partial (P), or Not Applicable (NA)***

Please check the applicable stage of review for the submission:

Stage of Review:	<input type="checkbox"/> Pre-Application with Staff (PA)
	<input checked="" type="checkbox"/> Preliminary Plan (PR)
	<input type="checkbox"/> Final Plan (F)
Check if requesting zoning relief for this stage of review:	<input type="checkbox"/> Unified Development Review

A. FORMS AND DOCUMENTS

A	PA	PR	F	REQUIRED FORMS AND DOCUMENTS	REVIEW CODE
1.				1 digital copy of all plans and application materials	
2.		Y		2 paper copies of the plan set (24"x 36")	
3.		Y		Minor Subdivision Application	
4.		Y		Relevant Filing Fee (See Table G.)	
5.		Y		Radius Package from Tax Assessor's Office (map and mailing list for notices)	
6.				All relevant supporting materials as determined during Pre-Application Conference	
7.				All relevant supporting materials as conditioned by Preliminary Plan Approval	
Checklist Item #		Applicant Comments on Required Forms/Documents:			
Checklist Item #		Reviewer Comments on Required Forms/Documents:			

B. GENERAL INFORMATION (*to be provided on plan sheets)

B	PA	PR	F	ELEMENT REQUIRED	REVIEW CODE
1.		Y		*Name of the proposed subdivision project	
2.		Y		*Plat and lot number(s) of land being subdivided/developed	
3.		Y		*Addresses, plat and lot number(s) of abutting properties and property owners	
4.		Y		*Address/Location of Subdivision	
5.		Y		Name and address of the applicant(s)	
6.		Y		Name and address of property owner(s)	
7.		Y		*Name, address, phone, and stamp(s) of the RI Registered Engineer and/or RI Registered Land Surveyor responsible for the plans	
8.		Y		*Date of plan preparation and all revision date(s), if any	
9.		Y		*True north arrow and graphic scale	
10.		Y		*Site plan legend (all items displayed on site plans shall be symbolized in a legend)	
11.		Y		*Relevant references to deeds and recorded plans	
12.		Y		*List of sheets contained within the plan set	
13.		N/A		*Notation of any permits and/or agreements obtained from or made with State and Federal agencies, including permit number if applicable	
14.		N/A		Names and addresses of adjoining communities or agencies requiring notification under these regulations	

C. EXISTING CONDITIONS PLAN(S)

C	PA	PR	F	ELEMENT REQUIRED	REVIEW CODE
1.		Y		A general location map showing the relationship of the parcel to the area within a half-mile radius, provide an aerial or satellite image depicting the subject parcel	

C	PA	PR	F	ELEMENT REQUIRED	REVIEW CODE
2.		Y		Certification by a RI Registered Land Surveyor that a perimeter study of the land being developed has been performed and meets a Class I standard for property lines and a Class III standard for topographic and existing conditions information	
3.		Y		District Dimensional Regulations of the subject parcel	
4.		Y		Zoning district(s) of the subject parcel(s), with zoning boundary lines shown if there is more than one district	
5.		Y		Notes referencing any relevant previous zoning relief including conditions of approval	
6.		Y		Boundaries and total area of any land classified as “unsuitable for development”	
7.		Y		Dimensions & area of subject parcel, and location and dimensions of existing property lines, type of easements and rights-of-way within or adjacent to the subject parcel	
8.				Existing contours at intervals at intervals of ten (10) feet	
9.		Y		Existing contours at intervals at a minimum of two (2) feet	
10.				FEMA Flood Map and Base flood elevation; use the North American Vertical Datum of 1988 (NAVD 88)	
11.				Boundaries and notation of soil classifications for the entire project area	
12.				Location of soil contaminants present on the subject parcel	
13.				Location of Phase III Remediation Plan area, if required by RIDEM	
14.		Y		Location of wetlands, watercourses or coastal features within and adjacent to the parcel(s), including buffer areas as defined by RIDEM for wetlands OR notation that none are present	
15.				Notation of existing ground cover with approximate location of wooded areas and areas of active agricultural use. Identify prime agricultural soils as determined by NRCS.	
16.		Y		Location of known easements and rights-of-way within or adjacent to the subject parcel(s), including streets, driveways, farm roads, and/or trails that have been in public use	
17.		Y		Location, width, classification, and names of existing public, private, and paper streets within and adjacent to the subject parcel(s)	
18.		Y		Location, size, and use/type of all existing buildings or significant above-ground structures, including stone walls, on the subject parcel(s)	
19.		Y		Location and size of existing buildings or significant above-ground structures on parcels immediately adjacent to the subject parcel(s)	
20.		Y		Location, size, and type of all known, existing above and below ground utilities, including sewer, OWTS, wells, water, gas, electric, stormwater drainage and communications or telecommunications infrastructure, as may be present on the site or within the right of way along the property frontage	
21.		Y		Location of any unique and/or historic features within or adjacent to the subject parcel(s), including stone walls, historic cemeteries and access, or, if none, a notation indicating such	
22.		Y		Accurate location of any unique natural features present on the site, including but not limited to significant specimen trees, or if none, a notation indicating such	
23.		N/A		Determination if the proposed development or subdivision lies within any area designated by the town or state for purposes of environmental, natural or cultural resource protection, such as: <ul style="list-style-type: none"> a. Natural Heritage Areas, as defined by RIDEM b. 200’ Coastal Buffer / Special Area Management Plan (SAMP) of RI CRMC c. A Groundwater Protection Overlay District d. Wellhead Protection Area e. Groundwater Recharge Area 	

C	PA	PR	F	ELEMENT REQUIRED	REVIEW CODE
				f. Areas within a TMDL watershed, as identified by RIDEM g. An OWTS Critical Resource Area, as defined by RIDEM h. A Drinking Water Supply Watershed, as defined by RIDEM i. National Register of Historic Places j. Cranston Historic District	
Checklist Item #		Applicant Comments on Required Items:			
Checklist Item #		Reviewer Comments on Required Items:			

D. PROPOSED CONDITIONS PLAN(S)

D	PA	PR	F	ELEMENT REQUIRED	REVIEW CODE
1.		Y		Location, size, and use/type of proposed buildings and structures, including proposed number of residential units per building, if applicable, and include all accessory structures, building setbacks, and total lot coverage	
2.		Y		Proposed buildings and other site improvements for a commercial or industrial development, include building setback lines and lot coverage	
3.		Y		Proposed lots with dimensions and areas indicated, include all interior lot lines, building setback lines and street lines with dimensions indicated and drawn so as to distinguish them from existing lot line	
4.		N/A		For lots with multiple frontages, identification of primary frontage	
5.		N/A		Proposed zoning relief -Unified Development Review	
6.		N/A		Proposed waivers	
7.				Notation of zoning relief and waivers received under UDR	
8.		N/A		Boundaries and total area of any land classified as “unsuitable for development” (see definition in Subdivision Regulations)	
9.		N/A		Concept measures to minimize impacts to the natural topography of the site using the Low Impact Development (LID) Site Planning & Design Guidance Manual	
10.		Y		Any proposed on- and /or off-site improvements including streets, access drives, loading areas, parking areas, sidewalks, and bicycle paths, include profiles and typical cross-sections	
11.		Y		Utilities Plan: Proposed location, size, and type of all above ground and underground utilities servicing the property, including wastewater, water, gas, electric, stormwater drainage and communications or telecommunications infrastructure, as may be required for site development	
12.		N/A		If future development is to be serviced by an On-Site Wastewater Treatment System(s), soil evaluations in the relative location where each system is proposed, which have been performed by a licensed RI soil evaluator and witnessed by RIDEM	
13.		Y		Location and dimensions of proposed easements and rights-of-way within the development parcel(s), or those to be acquired adjacent to the development parcel(s) as maybe necessary	
14.		N/A		Location, dimension, monumentation, and proposed use of any area(s) proposed to be set aside as open space, if any	
15.		N/A		Proposed phasing, including depiction of which structures and on- and off-site improvements are to be installed in which phase, if applicable	

D	PA	PR	F	ELEMENT REQUIRED	REVIEW CODE
16.				Limits of disturbance/work relative to on-and off-site improvements and infrastructure installation	
17.		Y		Grading plan(s) to show contours at sufficient detail (2-foot intervals) for all on and off-site street construction, drainage facilities, and individual house lots, certified by a RI registered Professional Engineer for final plans	
18.		Y		Stormwater management plan(s), to show accurate designs and details of proposed stormwater management infrastructure, including type, location, drainage calculations, extension of existing lines, and configuration, prepared by a RI-Registered Professional Engineer	
19.		N/A		Landscape plan(s), maintenance plan and tree preservation plan, to show all significant proposed clearing of land, removal of existing vegetation, re-vegetation, landscaping on street rights-of-way, and within common areas, and landscape installation details and related notations, signed by a RI licensed Landscape Architect for final plans	
20.				Certification by a RI Registered Professional Engineer that the Proposed Conditions Plan is correct	
21.				Any revisions to the proposed conditions required by the Preliminary Plan approval	
22.				Notation of any special conditions/documents received as required by the Preliminary Plan approval	
Checklist Item #				Applicant Comments on Required Items:	
Checklist Item #				Applicant Comments on Required Items:	

E. PROJECTS WITH STREET CREATION/EXTENSIONS

E	PA	PR	F	ELEMENT REQUIRED	REVIEW CODE
Required Elements in the Plans					
1.				Roadway design plan(s) and profile(s), including existing and proposed elevations and locations of proposed utility infrastructure, and proposed street names	
2.				Roadway design plan(s) and profile(s), including existing and proposed elevations and typical cross-sections and paved (impervious) areas delineated on the appropriate plans, including all pedestrian facilities	
3.				Notation whether the street extension or creation is to be private or public	
Required Supporting Materials					
1.				City Engineer memo of approval and performance guarantee amount	
2.				Draft Roadway deed	
3.				Draft public improvement guarantee	
Checklist Item #				Applicant Comments on Required Items:	

SUPPORTING MATERIALS (determined during Pre-Application Conference with staff)

F	PA	PR	F	ELEMENT REQUIRED	REVIEW CODE
1.				Renderings, elevations or photographs to illustrate the visual impact of the proposal for subdivision/development (on request)	
2.		Y		Copies of an aerial photograph or satellite image vicinity map drawn to a measurable scale as necessary to show the relationship of the subject parcel(s) to the area within a half-mile radius, identifying the locations of all streets, zoning district boundaries, schools, parks, fire stations, and other significant public facilities (on request)	
3.		Y		Copies of a narrative report or written statement including: <ul style="list-style-type: none"> a. A general description of the existing physical environment and existing use(s) of the property; b. A general description of the location, use(s), type(s), and density of subdivision/development proposed; c. A general statement and supporting maps and/or graphics that illustrates the approach utilized in designing the proposed subdivision/development, including consideration of existing conditions and significant site features; d. Proposed waiver(s) from Subdivision Regulations e. Proposed zoning relief f. A general analysis of soil types and suitability for the subdivision/development proposed; g. A description of proposed phasing, if any. 	
4.				Copy of the Deed/Title to the subject parcel, if requested	
5.				Copies of any RIDEM stormwater or other general construction permits that are required, or an affidavit, signed by a qualified professional, stating that no RIDEM stormwater or construction permits are required	
6.		Y		Copies of drainage calculations, associated explanatory narrative, and all supporting documentation, including an Operations and Maintenance manual for the system (submission for Final Plan stage only upon significant changes to calculations or documents)	
7.		Y		Soil Erosion Sediment Control Plan (submission for Final Plan stage only upon significant changes to plan)	
8.				Environmental Site Assessments, if any (on request)	
9.				RIDEM Approved Environmental Site Assessment Phase III (Remediation Plan) if required	
10.		N/A		<u>If requesting zoning relief under UDR:</u> Narrative report describing requested zoning relief citing relevant sections of the Zoning Ordinance AND provide evidence towards each of the required findings in RIGL §45-24-41.(d) & (e).	
11.		N/A		Copies of all legal documents; legal description of property, proposed easement and rights-of-way, dedications, restrictions or other required legal documents including but not limited to covenants or Homeowners Association, Stormwater Management Plan, Landscaping Maintenance Plan, a deed conveying open space or offer of street dedication	
12.				Draft copies of the metes and bounds description(s) and warranty deed(s) for all proposed public roadways and/or lands proposed to be dedicated to the City for open space purposes, if any, in a form acceptable to the Administrative Officer and reflective of any conditions of the Preliminary Plan approval	
13.		Y		Municipal Lien Certificate (MLCs) from the Tax Collector dated within 6 months showing taxes are paid and no outstanding municipal liens on the parcel.	

F	PA	PR	F	ELEMENT REQUIRED	REVIEW CODE
14.				Approval letter from RI Coastal Resources Management Council if subject lot(s) is within 200' of a <u>coastal shoreline</u>	
15.				For lots containing or impacting <u>freshwater wetlands</u> or <u>tidal waters and their tributaries</u> , copies of either: a. A RIDEM wetlands permit, if required pursuant to RIDEM rules and regulations; or b. A letter of non-jurisdiction from RIDEM	
16.		Y		If <u>proposing service by public water</u> , copy of a water availability letter	
17.				If <u>proposing service by public water</u> , copies of a written statement from the applicable water service provider that the proposed plan, with plan revision date indicated, has been reviewed and which provides: a. Approval of connection to the existing water main as depicted on the plan; and, b. If extension is proposed, approval from the company or district of the extension of the water main as depicted on the plan	
18.		Y		If proposing service by public sewer, copy of sewer service availability letter from the Department of Public Works	
19.				If <u>proposing service by public sewer</u> , copies of a written statement from the Department of Public Works and applicable sewer operator that the proposed plan, with plan revision date indicated, has been reviewed and which provides: a. Approval of connection to the existing sewer main as depicted on the plan; b. If a <u>sewer main extension</u> is proposed, approval of extension by the Department of Public Works as depicted on the plan.	
20.				If <u>proposing septic and on-site wastewater treatment systems</u> , copies of a RIDEM OWTS permit must be provided.	
21.				If proposing new physical access or alteration to access to a State right-of-way a letter evidencing the issuance of a RIDOT – Physical Alteration Permit	
22.		N/A		Written confirmation and/or permits from any additional required federal, state or local agencies as needed	
23.		N/A		Traffic study performed by a RI Licensed Engineer (if requested)	
24.				Location, type, intensity and direction of illumination of outdoor lighting fixtures	
25.		N/A		Signage including location, size, design and illumination.	
26.		N/A		Building elevations showing exterior building design, materials, colors & height (Optional)	
Checklist Item #				Applicant Comments on Required Items:	
16				The applicant submitted an information request form to the water authority and is waiting for a response.	
Checklist Item #				Reviewer Comments on Required Items:	

G. FEES

G	PA	PR	F		Received?
1.				Pre-Application Conference with Staff: <i>No fees</i>	
2.		X		Preliminary Plan Review Fee: \$300 + 35 per unit*	
3.				Review Fee for Street Creation/Extension: \$200	
4.				Final Plan Fee: \$200 + 35 per unit*	

